



TOWN OF EXETER, NEW HAMPSHIRE

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LEGAL NOTICE EXETER PLANNING BOARD AGENDA

The Exeter Planning Board will meet on Thursday, September 24, 2026, at 7:00 P.M. in the Nowak Room of the Town Office Building located at 10 Front Street, Exeter, New Hampshire, to consider the following:

APPROVAL OF MINUTES: August 27, 2026 and September 10, 2026

OLD BUSINESS:

Request by Exeter Presbyterian Church for an Extension of Site Plan Review Approval – 73 Winter Street. Tax Map 73 Lot 143, **PB Case #25-6**

NEW BUSINESS: PUBLIC HEARINGS

The continued application of Stonearch Development LLC for a Lot Line adjustment, a Minor Subdivision, and Site Plan Review for the redevelopment of property located at 5 Brentwood Drive. The redevelopment will consist of 8 residential condominium units of single-family homes. The project includes a new roadway, underground utilities and drainage structures. Tax Map 62 Parcel 111. **PB Case # 26-11**

Application of Peter A. Smith Revocable Living Trust, Peter A. Smith, Trustee, for a minor subdivision of an existing 5.762-acre parcel into two (2) single-family residential lots; 4.980 acres and .782 acres. The subject property is located at 121 High Street, in the R-2, single family zoning district. Tax Map 71 Lot 91. **PB Case #26-16**

Application of Deirdre & Seth Roberts for a Conditional Use Permit to restore three areas of the buffer totaling 839 /sf by removing lawn and installing buffer plantings. The subject property is located at 26 Wadleigh Street, in the R-2, single family zoning district, Tax Map 54, Lot 5-2. **PB Case #26-17**

OTHER BUSINESS

- Master Plan Discussion
- Land Use Regulations Review
- Field Modifications
- Bond and/or Letter of Credit Reductions and Releases

EXETER PLANNING BOARD

Langdon J. Plumer, Chairman

**TOWN OF EXETER
PLANNING BOARD
NOWAK ROOM
10 FRONT STREET
AUGUST 27, 2026
DRAFT MINUTES
6:30 PM**

I. PRELIMINARIES:

BOARD MEMBERS PRESENT BY ROLL CALL: Chair Langdon Plumer, Gwen English, Jennifer Martel, Marty Kennedy, Alternate Sam MacLeod, Alternate Ryan Kelly, and Select Board Representative Nancy Belanger.

STAFF PRESENT: Town Planner Dave Sharples

II. CALL TO ORDER: Chair Plumer called the meeting to order at 6:30 PM, and the members introduced themselves. All of the Alternates were activated.

III. APPROVAL OF MINUTES

August 13, 2026

Mr. Kennedy recommended an edit to line 142.

Ms. Belanger motioned to approve the August 13, 2026 minutes, as amended. Ms. English seconded the motion. A vote was taken, Ms. Martel abstained. The motion passed 6-0-1.

July 9, 2026 – ***Tabled***

July 14, 2026 Site Walk Minutes - ***Tabled***

IV. OLD BUSINESS

V. NEW BUSINESS/PUBLIC HEARING

1. Second Public hearing on the 2027-2032 Capital Improvements Program (CIP) projects as presented by the Town Departments. Copies of the proposed document(s) will be available at the Planning Department Office prior to the meeting.

Chair Plumer read the public hearing notice out loud.

Town Planner, Dave Sharples, indicated this is for the six years from 2027-2032 and that the Board should vote to adopt the CIP if they are inclined and then send a letter to the Select Board.

Ms. English asked about the Clemson Pond Tide Gates and the follow up inspection that Steve Cronin, the Public Works Director, was having done since the first hearing. Mr. Sharples noted he did not have the results with him today.

Chair Plumer opened the hearing to the public at 6:48 PM.

Mark Furlong asked about the bridge at Park and Oak Street which had been scheduled for replacement in 2007 and was not in the CIP despite available funding. Chair Plumer indicated that he believes that bridge belongs to the railroad and there was an agreement with the town for its takeover. Mr. Furlong noted that was up for debate.

Mr. MacLeod motioned that the Planning Board adopt the 2027-2032 Capital Improvement Program as presented. Mr. Kelly seconded the motion. A vote was taken, Ms. Belanger abstained. The motion passed 6-0-1.

Chair Plumer thanked the Department Heads and Administration for their hard work and effort.

2. The continuation of the public hearing for the application of J. Caley Associates for site plan review for the proposed demolition of the existing dry-cleaning building and proposed development of a four-story 12 unit residential and mixed-use commercial building.

C-2 Highway Commercial Zoning District

Tax Map #65-125

Planning Board Case #26-3

Chair Plumer read the public hearing notice out loud.

Mr. Sharples indicated some of the changes since August 13th and the proposed 12-unit mixed-use building with two office/retail uses to be determined on the first floor.

Attorney Josh Lanzetta noted the change in the law concerning residential uses in commercial zone and referenced the amended plan and the mulch bed. He noted Attorney Chris Hilson emailed a letter at 5:13 PM today which he read out loud noting their withdrawal of objections and now support for the project.

Christian Smith of Beals Associates reviewed the plan changes including the landscape island. He noted that he reviewed them with the fire inspector. He noted the apartments would be sold and there would be two commercial spaces on the first floor based on office/retail and a condominium association. Parking has three extra spaces, and they still need a shoreland conditional use permit. He noted Conservation Commission is in favor.

Ms. English asked about snow storage in the back and Mr. Smith noted they would truck snow out as necessary. Ms. English noted she was concerned about plantings in the snow storage side. Mr. Sharples noted the condition of dead and dying vegetation replacement.

Ms. English asked about the traffic pattern in the back. Mr. Smith described the 35' and width for turn around. Ms. English asked if all ADA parking were proposed in the back and Mr. Smith indicated yes, the front was too steep. Ms. English questioned with the commercial space downstairs if the front would be the most used. She questioned where the mailboxes, electric vehicle conduit and bike storage would be. Mr. Smith pointed to the mail kiosk on the left, the EV conduits in the back and the proposed movable bike rack which would be taken in during the winter months.

Mr. Kennedy asked the number of bedrooms and Mr. Smith indicated two. He asked the setback for parking in the front and Mr. Smith indicated five feet and that the planting island was relocated. Mr. Kennedy commented that it was tight. Mr. Smith replied that it is standard aisle width. Mr. Kennedy clarified that his concern is with pedestrian and traffic use for the commercial space and not knowing what that is going to be.

Mr. Kelly asked about the EV conduit area in the back and if they would impact ADA spaces and if one could be moved to the front. Mr. Smith noted future pedestals would not be attractive to look at out front. Ms. English agreed the ADA spot could be taken up. Mr. Smith indicated the desire to have one of those be ADA accessible.

Mr. Kelly asked about plantings along Portsmouth Avenue and whether trees could be added. Mr. Smith explained about the abutters concern that his sign be visible.

Ms. Martel noted that the parking circulation shows one way and concerns with the northern four spots being tight. Mr. Smith posted sheet four of the parking plan. Ms. Martel asked about curbing and Mr. Smith indicated on the Manor side.

Chair Plumer opened comment to the public at 7:35 PM.

Michael Segal asked how large the residential units were and how many parking spaces, and Mr. Smith indicated 700 SF units with 26 parking spaces.

Attorney Todd Fahey representing Needham Bank asked if the record was combined with the amendment from hotel to condominiums and commercial space. Chair Plumer noted it was a modification of the plan. Mr. Sharples confirmed that the record is still attached on the amended plan.

Attorney Fahey expressed concern with not knowing the commercial use and how the traffic flow will be so he renewed their objections without knowing the proposed commercial use. He asked about the new sewer easement, and Mr. Smith indicated it is a replacement DPW wanted for a pipe currently there.

Chair Plumer closed the hearing to the public at 7:39 PM.

Mr. Smith indicated need for a waiver for grading within 5' and the shoreland CUP. Ms. English asked if light trespass was taken care of and Ms. Belanger indicated no change.

Mr. Smith reviewed the criteria for granting the shoreland conditional use permit pursuant to Section 9.3.4 g2. He reviewed stormwater, snow storage, discharge of wastewater, no hazardous emissions, spawning grounds and infiltration of storm water. He indicated a reduction in impervious surface from 79% to 78% and that previously that was without treatment.

Ms. Belanger motioned after reviewing the criteria for granting a shoreland conditional use permit for J. Caley Associates, Planning Board Case #26-3 be approved with the conditions recommended by the Conservation Commission:

1. Soils located around and under the existing building are tested for contamination after building removal and shown to be in line with state requirements.

2. The monitoring well located on site is decommissioned and removed until after construction and then recommissioned.

Mr. MacLeod seconded the motion. A vote was taken, all were in favor, the motion passed 7-0-0.

Mr. Smith reviewed the criteria for granting a waiver pursuant to Section 9.3.6.4 of the site plan review and subdivision regulations to permit grading within 5' of the property line.

There will be no disturbance to abutting parcels unless authorized. He noted it would not vary zoning or the master plan. There are no new structures within 5' to the property line.

Ms. Belanger motioned to grant the request of J. Caley Associates, Planning Board Case #26-3 for a waiver from Section 9.3.6.4 of the site plan review and subdivision regulations to permit grading within 5' of the property line. Ms. English seconded the motion. A vote was taken, all were in favor, the motion passed 7-0-0.

Ms. Martel asked Mr. Sharples if professional and retail use meant it could not be a restaurant or a coffee shop. Mr. Sharples indicated that a restaurant would not have enough parking.

Mr. Kennedy asked about what he considered a pedestrian and traffic problem. Mr. Sharples asked him to clarify what he believed was unsafe about the parking lot, to justify that. Ms. Martel noted restaurants are required to have parking based on the number of seats. Mr. Sharples noted retail is one space per 300 SF and therefore the use would be limited by parking. Mr. Kennedy noted they have an easement.

Chair Plumer reopened public comment at 7:59 PM.

Attorney Lanzetta noted parking is limited by the ordinance already. He stated they did not know what tenant would occupy the commercial uses yet. There is no definition for high use intensity coffee shop. If there is to be a restaurant they would need to come back. He stated that this is not defined by the ordinance so making up a definition absent a warrant article or amendment to this ordinance by this Board would not be legal. There is a wrote process.

171 Attorney Fahey disagreed and stated the Board has every right to have sufficient information as to what
172 is going to happen on this site and to apply its site plan approvals. There is no clarity and he believes
173 they are still trying to do a lot on a small lot. Traffic flow and pedestrian safety are large and to deprive
174 you from issuing approval requires fidelity to those provisions.

175
176 Attorney Lanzetta referenced Section 5.6.6 of the zoning ordinance for restaurants, bars and nightclubs
177 to have one space each for every three seats plus the employee component. Professional office and
178 retail are the most likely use and if that were to change the owner would have to come back and comply
179 but writing a new calculation for a use that is not in the ordinance is not a great idea. Mr. Sharples
180 noted that the Board has never said they need to know what's going in there as long as he has been
181 here. The guardrails are the zoning ordinance.

182
183 Ms. English gave as an example a pedestrian walking from the eyesight place through the plaza to this
184 building and as to pedestrian crossings of these roads. She noted you cannot regulate the number of
185 people going in and out of the building. Mr. Kennedy noted the problem is how tight these parking
186 spaces are in front and a high turnover coffee shop may increase the volume of traffic it would generate
187 as to the number of cars in and out every few minutes with pedestrians crossing that tight parking area.
188 If they can tell us that is not what they are going to put in he would not have that concern. Ms. Martel
189 noted they could not put that in without coming back. Mr. Sharples noted that a restaurant is allowed
190 in the zone, with 12 spaces for units that leaves 14, and with one spot for every three seats only a 12
191 seat restaurant. Mr. Kennedy noted that even with the small number of seats it doesn't exclude people,
192 running in and out for coffee and a sandwich, who are not using seats. Mr. Sharples indicated that you
193 have to go by our zoning. Mr. Kennedy noted it is the interaction between traffic in and out in a quick
194 turnaround with pedestrians walking across the parking lot.

195
196 Mr. Kelly asked if there were traffic engineering solutions to mitigate Mr. Kennedy's concern in lieu of
197 creating a condition that may not be enforceable. There are a lot of high turnover places in town. He
198 gave as examples painted islands turning into curbed but noted the crossing space is owned by multiple
199 people. Ms. English opined that that mitigation would occur on someone else's property. Chair Plumer
200 noted this was all speculative and it was time to move on. Ms. Martel agreed that zoning limits what
201 can happen.

202
203 Ms. Martel asked about the new bicycle friendly regulations and questioned the proposed seasonal bike
204 racks being placed on the grass being bicycle friendly and not year-round. She stated they should be
205 placed and maintained as a condition, on pavement, and be secure. Ms. English agreed and questioned
206 how they would mow the grass.

207
208 Chair Plumer opened public comment at 8:18 PM.

209
210 Mr. Smith addressed the bike rack and noted the front sidewalk is 8' wide and paved. Mr. Kelly used the
211 downtown racks as an example and noted they are out year-round and set in concrete. Ms. Belanger
212 noted that Portsmouth Avenue will be redone soon and Mr. Sharples indicated there is ROW in a few
213 places.

Chair Plumer closed public comment at 8:21 PM.

Mr. Sharples reviewed the standard conditions of approval:

- An electronic as-built plan with details acceptable to the Town shall be provided prior to the issuance of a certificate of occupancy. This plan must be in dwg or dxf file format and in and 1983 State Plane New Hampshire FIPS 2800 feet coordinates;
- A preconstruction meeting shall be arranged by the applicant and his contractor with the Town Engineer prior to any site work commencing. The following must be submitted for review and approval prior to the pre-construction meeting:
 - i. the SWPPP (storm water pollution prevention plan), if applicable, be submitted to and reviewed for approval by DPW prior to the preconstruction meeting; and
 - ii. A project schedule and construction cost estimate.
- Third party construction inspection fees shall be paid prior to scheduling the preconstruction meeting.
- The annual operations and maintenance report I in the stormwater management shall be completed and submitted to the Town Engineer annually, on or before January 31st. This requirement shall be an ongoing condition of approval and included in the condominium documents.
- All comments in the review letters of UEI shall be addressed to the satisfaction of the Town Planner and Town Engineer, or their designee, prior to signing the final plans.
- All applicable state permit approval numbers shall be noted on the final plans.
- A restoration and erosion control surety in an amount and form reviewed by the Town Planner pursuant to Section 12 of the Site Plan Review and Subdivision Regulations prior to any site work commencing.
- All applicable fees to be paid including, but not limited to, sewer/water connection fees and inspection fees (including third party inspection fees) prior to the issuance of a certificate of occupancy.
- All landscaping shown on plans shall be maintained and any dead or dying vegetation shall be replaced, no later than the following growing season, as long as the site plan remains valid.
- All outdoor lighting (including security lights) shall be shown on the final plans and shall be down lit and shielded so no direct light is visible from adjacent properties and/or right of ways
- No snow storage shall be stored on planting or planting areas shown on the plans except otherwise provided herein.
- Nothing herein shall expand or contract any easement rights which any party may have regarding the subject property.
- The applicant shall submit the land use and stormwater management information about the project using the PTAPP online municipal tracking tool. The PTAPP submittal must be accepted by DPW prior to the preconstruction meeting.

- HOA documents shall be submitted to the Town Planner for review and approval to determine compliance with the Board's approval prior to signing the final plans. If the Town Planner deems necessary Town Counsel review shall be at the applicant's expense.

Ms. Martel recommended:

- A bicycle rack located on the 8' wide sidewalk in front of the building shall be permanently installed on the pavement and shall be noted in the final plans.

Ms. English recommended:

- One EV charging conduit will be moved from its current site....

Mr. Sharples noted the regulations require conduits and asked if they were putting in pedestals and Mr. Smith indicated no, just conduit.

Mr. Kelly recommended:

- Additional tree planted on the lawn space adjacent to Portsmouth Avenue without obstructing the neighboring signage.

Ms. English referenced the Conservation notes which Mr. Sharples noted he included.

Ms. Belanger motioned that the request of J. Caley Associates, Planning Board Case #26-3 for site plan approval be approved with the conditions read by the Town Planner Dave Sharples, by Jennifer Martel, Gwen English and Mr. Kelly. Ms. English seconded the motion. A vote was taken, Mr. Kennedy abstained. The motion passed 6-0-1.

3. The continuation of the public hearing for application of Phillips Exeter Academy for Minor Site Plan Review to construct three new duplexes for faculty housing on Tax Maps 83-01 and 72-99. The applicant is also submitting a voluntary lot merger application to merge Tax Map Lot 72-99 into Tax Map 83-01 for a single tract of land. PB Case # 26-7

Chair Plumer noted that the applicants will need to continue due to the appeal of the ZBA decision to the Housing Appeals Board.

Ms. Belanger motioned to continue Planning Board Case #26-7 to the Board's September 10, 2026 meeting at 7 PM in the Nowak Room. Ms. English seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

4. The continuation of the public hearing for application of Stonearch Development LLC for a Lot Line adjustment, a Minor Subdivision, and Site Plan Review for the redevelopment of property located at 5

Brentwood Drive. The redevelopment will consist of 8 residential condominium units of single-family homes. The project includes a new roadway, underground utilities and drainage structures.

Tax Map 62 Parcel 111

Planning Board Case # 26-11

Chair Plumer read the public hearing notice out loud.

Mr. Sharples noted the continuance from June 25th. Ms. Belanger noted the site walk on July 14th. Mr. Sharples noted the road width was discussed and the Conservation Commission heard the conditional use permit request. There is a new plan set and UEI letter. Outstanding items include the width of the roadway. They need to submit written waiver request for that per regulations. He noted two of six driveways, if there is a public road, none can back out. He noted landscaping and utility conflicts and the stormwater discussion.

Christian Smith of Beals Associates indicated John O'Neill was present and Michael Green of Green and Company. He noted they would have a private drive and also had review by the fire department who had no issue with life/safety. Conservation Commission and Planning Board had a site walk. Two units will be off MacKay Drive. There is a waiver requested for setback adjacent to a lot. There will be eight units, six off a cul-de-sac, curbing on the roadway and a collection system which goes to a bioretention pond.

Mr. Smith displayed the plan showing proposed Conservation land. He noted this connects to other Conservation land.

Ms. English asked about the driveway on the existing lot on Brentwood Road and Mr. Smith noted the son of the owner is doing a lot line adjustment and did not know if it would be eliminated. Ms. English asked if there was a storm drip edge and Mr. Smith indicated more units now drain to the bioretention pond because of the addition of MacKay Drive.

Chair Plumer asked if there would be a private drive off Brentwood Road and Mr. Smith indicated yes.

Ms. English asked about the 8' fence and Mr. Smith noted the fence and landscaping plan were agreed with abutters. Ms. English asked about the five decks in the buffer and Mr. Smith indicated that now with the private drive and the setback being the edge of pavement those can be pulled forward.

Ms. English asked about the school bus stop on Brentwood Road and Mr. Smith reviewed the proposed crossing. Mr. Sharples indicated that the midblock crossing should be reviewed by the town for greater detail. Mr. Smith will consult with a traffic engineer. Mr. Sharples noted that the town would take over that infrastructure. Mr. O'Neill noted they are resurfacing Brentwood Road next year and will tie in with what they are doing and work on the crosswalk situation. He noted DPW is going to be grinding from the dam to Crestview this year.

Mr. Sharples noted they were at day 63 of 65 and asked Mr. Smith if they would agree to an extension and Mr. Smith agreed.

Ms. Martel asked if the Board had approved the yield plan yet and Mr. Sharples indicated that by approving the plan they approve the yield plan. Ms. Martel asked for explanation of the yield plan on 2/26 which Mr. Sharples provided.

Ms. English asked if the hearing should be continued so the applicant could address the UEI letter. She also noted that the Conservation Commission questioned the confirmation of results concerning vernal pools by the wetland scientist who was to follow up on his 12/22 report. Mr. Smith indicated no vernal pool was found but he would ask him to put it in his memo.

Ms. Belanger referenced clarification of the Conservation easement type, terms, and boundary. Mr. Sharples noted in order for the density bonus the Commission would need to accept the land. Chair Plumer read #3 and noted Board members were in favor of the second unit on MacKay contrary to Conservation Commission.

Ms. English asked about delineation of 20' caliper trees. Mr. Smith will check.

Chair Plumer opened public comment at 9:04 PM.

Ms. English questioned the light at the end of the road and Chair Plumer noted it is a condominium light.

Ms. Belanger motioned to continue Planning Board Case #26-11 to the September 24, 2026 meeting at 7 PM in the Nowak Room. Ms. English seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

VI. OTHER BUSINESS

- Master Plan Discussion

The Board will discuss at their next meeting the benefits or legalities of adding an Alternate to the Master Plan Oversight Committee. Mr. Sharples noted that there are three members and as the members of the subcommittee come from the Board and not outside sources, four members would constitute a quorum of the Planning Board and become a Planning Board meeting. Mr. MacLeod expressed concerns that if an alternate were to step out when three members are available that they may not be up to speed as the meetings are not recorded.

- Field Modifications

- Bond and/or Letter of Credit Reductions and Release

VII. TOWN PLANNER'S ITEMS

384 **VIII. CHAIRPERSON'S ITEMS**

385 **IX. PB REPRESENTATIVE'S REPORT ON "OTHER COMMITTEE ACTIVITY"**

386 **X. ADJOURN**

387 *Ms. Belanger motioned to adjourn the meeting at 9:18 PM. Chair Plumer seconded the*
388 *motion. A vote was taken, all were in favor, the motion passed unanimously.*

389 Respectfully submitted.

390 Daniel Hoijer,

391 Recording Secretary (Via Exeter TV)

**TOWN OF EXETER
PLANNING BOARD
NOWAK ROOM
10 FRONT STREET
SEPTEMBER 10, 2026
DRAFT MINUTES
7 PM**

I. PRELIMINARIES:

BOARD MEMBERS PRESENT BY ROLL CALL: Vice-Chair Aaron Brown, Gwen English, Jennifer Martel, Marty Kennedy, Alternate Sam MacLeod, and Select Board Representative Nancy Belanger.

STAFF PRESENT: Town Planner Dave Sharples

II. CALL TO ORDER: Acting Chair Brown called the meeting to order at 7 PM, and the members introduced themselves. Alternate Sam MacLeod was activated. There was a moment of silence for the anniversary of September 11th.

III. APPROVAL OF MINUTES

August 27, 2026 – ***Tabled***

Ms. English motioned to table approval of the August 27, 2026 minutes to the September 24, 2026 meeting. Ms. English seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

July 9, 2026

Ms. Belanger recommended edits to Lines 82, 153, and 238.

Mr. Kennedy recommended edits to Lines 121 and 138.

Ms. Belanger motioned to approve the July 9, 2026 minutes, as amended. Ms. English seconded the motion. A vote was taken, Mr. Brown abstained, the motion passed 5-0-1.

July 14, 2026 Site Walk Minutes

Mr. MacLeod motioned to approve the July 14, 2026 site walk minutes. Ms. English seconded the motion. A vote was taken, there were two abstentions, the motion passed 4-0-2.

IV. OLD BUSINESS

V. NEW BUSINESS/PUBLIC HEARING

1. The continuation of the application of Phillips Exeter Academy for Minor Site Plan Review to construct three new duplexes for faculty housing

Tax Maps 83-01 and 72-99.

The applicant is also submitting a voluntary lot merger application to merge Tax Map Lot 72-99 into Tax Map 83-01 for a single tract of land.

Planning Board Case # 26-7

Acting Chair Brown read the public hearing notice out loud.

Mr. Sharples explained the application has been continued because the ZBA's special exception approval has been appealed to the Housing Appeals Board and that is where it is now and will take months to resolve. The applicant agreed to a continuance and abutters will be renoticed

Ms. Belanger motioned as agreed by the applicant in an email dated September 3, 2026 that the request of Altus Engineering on behalf of Philips Exeter Academy for minor site plan approval be tabled to further notice with the condition that abutters are renoticed when it returns to the Board. Mr. Kennedy seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

2. Application of Jones & Beach on behalf of Green & Company for a Subdivision and Conditional Use Permit application for a proposed 14-lot residential cluster subdivision consisting of single-family homes on the 10.1-acre parcel of the Exeter Country Club property that currently serves as its driving range.

Tax Map 52 Lot 1

Planning Board Case # 26-14

Acting Chair Brown read the public hearing notice out loud.

Mr. Sharples noted the application was complete for review purposes.

Ms. Belanger motioned to accept the plans as complete for review purposes. Ms. English seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

Acting Chair Brown noted he had the request of a member of the public to be heard first, for medical reasons, during public comment.

Mr. Sharples noted a conditional use permit would be required for the cross-country sewer. The applicant will go before the Conservation Commission on October 13, 2026 and will need approval from the Select Board for the sewer line crossing on a town owned lot. There was a TRC meeting on August 27th and their comment letter is provided. There was UEI review and their letter dated September 1 is also provided. There will be comments from the Conservation Commission. The Board will review the yield plan. There are no waivers requested at this time.

Vice-Chair Brown asked if a site walk, which he noted would be open to the public, should be scheduled. They will park at the club house, and he stated they could look at drainage. He noted the yield plan was somewhat different than what was submitted in conceptual review. The Board scheduled a site walk for 8 AM on October 8, 2026. They discussed flagging the center line, utility easement, proposed recreation area, and tee box. Mr. Sharples will invite the Conservation Commission to attend.

Paige Libbey of Jones & Beach presented the application and noted Michael and Jenna Green were present as well as John O'Neil. She described the 73-acre golf course parcel of Exeter Country Club and the ten-acre parcel utilized as a driving range on Jady Hill Avenue and Webster Avenue. She noted the parcel slopes to Wheelwright Creek. She noted areas of wetland and described the demolition plan. She noted Jady Hill Avenue would be widened at a point and fire hydrant, utilities, drainage reworked. There is an overhead utility line to the maintenance building along the cart path. Some trees and fencing will be pushed back.

Ms. Libbey described the yield plan with 14 lots to be a cluster subdivision with 49% open space. There will be a tee box of the golf course in the open space with an easement.

Ms. Libbey described the proposed 1000' road including the 200' end of Jady Hill being widened. There is a stop sign proposed at the end and just two homes now.

Ms. Libbey described the grading plan and drainage upgrades at the intersection, several catch basins and two bioretention catch basins. She described wetland buffer impacts as temporary to construct berms at the ponds which will be revegetated upon completion. There are two wetland crossings to tie into the sewer.

Ms. Libbey noted the cross-country sewer line will have to be approved by the Select Board. It will be with gravity flow at the end of Webster Ave. Select Board representative Belanger encouraged Ms. Libbey to contact the Select Board chair to get on the agenda without delay.

Ms. Libbey described the lighting plan, cluster mailbox unit and landscaping with street trees proposed buffer planting at the conservation property line and screening.

Vice-Chair Brown opened comment to the public at 7:30 PM.

Greg McCarthy of 4 Webster Ave. stated that his lot was the longest abutting property line and expressed concerns with stormwater affecting the neighborhood. He claimed that since the country club paved the parking lot without any change in town infrastructure there have been runoff and drainage issues, worsening during storms. Once Webster Ave. was paved the crown changed and pushed water further. He stated that he doubted this met DOT specifications. He stated that stormwater and drainage issues have been known for decades and recently a project was approved off Haven Lane. He referenced the pumping station project and introduction of invasives. He stated his neighborhood has been neglected and ignored. There are no curbs on Jady Hill Ave.

Gail Morse of 73 Jady Hill Ave. agreed that since the parking lot was paved the rain jumps the storm drain. She questioned why 14 houses instead of five. She asked if children would still be able to sled at the country club.

Janet Moriati of 79 Jady Hill Ave. indicated she was the last house at the existing dead end of the street which will require widening. She questioned what protection there would be for them from the golf

course and noted the safety net would be gone. She expressed concerns with drainage, wildlife, traffic and pedestrian safety. She expressed concerns with removing mature trees registered with the conservation commission to widen the road. She expressed concerns with no buffer across from her and asked if the sidewalk can be extended like they were going to do when the clubhouse was going to expand. She stated that she has lived there for 30 years and the Irvine conservation land will be impacted and there are birds and animals.

Rebecca Zoher of 71 Jady Hill Ave stated that she also spoke for residents of 67 and 77 Jady Hill Ave. and described a family neighborhood on a safe, quiet, street and her wish to protect that. She described the existing dead end as the only safe, flat place for kids to play. She expressed concerns about traffic and a narrow road, speeds and lack of awareness. She asked if there would be a traffic study or independent drainage study. She described the water supply as already in crisis and the development would change the character of the neighborhood.

Sherman Chester of 3 Webster Ave. indicated he has lived there for 71 years and believes the development is unnecessary and detrimental to the neighborhood, town and the country club. He stated that developers are ruining Exeter. He expressed concerns about traffic.

Doreen Chester of 3 Webster Ave. stated their home faces the country club and there is insufficient room for vehicles. She expressed concerns with the removal of the mature trees registered with conservation under Tree City USA since 2019. She stated she doesn't want to look at houses she wants to look at trees. She noted the Haven Lane project, concerns with traffic, infrastructure on Portsmouth Avenue, wetlands, trees, traffic, children, overcrowding and the scale of the neighborhood. She would like to see affordable housing not more multi-million-dollar homes, but homes that are compatible with the neighborhood.

Vice-Chair Brown commented that serving on the Board he is surrounded by people that care about the trees. He understands the rights of the landowner. He noted the drainage issue today on Jady Hill Ave. is an existing DPW issue. He noted the new development cannot increase runoff on abutting properties but also isn't in their purview to correct existing issues. He stated it was great to bring these issues up but this is not the right format.

Ms. Libbey noted that she met with DPW before design review and they are aware of the situation and the developer kept that in mind with the drainage design. They looked at runoff and bringing that into the drainage system and managing peak flow and control of runoff from the development.

Select Board representative Belanger noted that some of the comments were beyond what the Planning Board will look at and encouraged them to come to Select Board meetings and noted public comment is open at the beginning of their meetings. She recommended reaching out to the town manager and noted Portsmouth Avenue is being upgraded.

Ms. Martel asked about the yield plan and lot 1. She questioned the 20' wide utility easement. Ms. Libbey noted that the overhead utility line to maintenance would be removed and the easement

adjusted. It will run down the road. Lot 1 has an envelope with a viable lot once the utility easement is removed. Ms. Martel noted she would like to see the easement relocation on the plan.

Vice-Chair Brown asked about the tee box at the third hole and noted it was creative but would like to see calculations without that, for the open space. He asked about the lot line adjustment. He said it was not clear as this was a commercial enterprise with separate ownership.

Ms. English asked about lot 1 and noted the building envelope would be very narrow. She asked about lot 8 and wetland buffers and if the outline of the building site could be shown for lot 8. She noted she was not crazy about the wetland crossing. Ms. English questioned lot 14 and lot 10 and the structures shown. Ms. Libby noted she believed one was Mr. Eastman's shed, and Mr. McCarthy of Webster Ave noted there were foundation blocks of an old brick building in the tree line with no building he believes is on his property.

Ms. English asked if 20" caliper trees or greater, had been identified. She asked about curbing to direct water flow. Ms. Libby noted there may be additional curbing requested by TRC.

Ms. English asked about a recreational area. Ms. Libby noted the open space and cart path and potential in the middle of the cul-de-sac which will be a grassed area. Ms. English noted that she would like to see an attempt made to make this feel like part of the existing neighborhood. She noted that Exeter is still a tree city.

Mr. MacLeod noted it is a unique neighborhood and he has reservations.

Ms. Belanger motioned to continue Planning Board Case #26-14 to the Board's October 22, 2026 meeting at 7 PM in the Nowak Room. Ms. English seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

3. Application of Vanasse Hangen Brustlin, Inc (VHB) on behalf of SPNH Exeter, LLC for a Lot Line Adjustment between Map 66, Lots 1 and 2, through the transfer of approximately 3,009 acres from Map 66, Lot 1 owned by Palmer and Sicard, Inc., to Map 66, Lot 2, owned by North Country Trust.
Planning Board Case #26-15

Acting Chair Brown read the public hearing notice out loud.

Mr. Kennedy reported that he retired from VHB and polled the Board to see if recusal was necessary. The Board felt he would be objective.

Mr. Sharples indicated the case was complete for review purposes.

Mr. MacLeod motioned to open and accept the application as complete for review purposes. Ms. Belanger seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

Ms. Martel departed the meeting.

Mr. Sharples explained that there would be a lot merger for the adjacent boundary so that the parcel in question could have frontage on Holland Way so that three acres is being transferred from Map 66, Lot 1 owned by Palmer and Sicard, Inc. to Map 66, Lot 2 owned by North Country Trust, and this leaves both parcels with sufficient frontage and doesn't violate the zoning ordinance. He noted the two waivers discussed do not apply; there are no new lots being created.

Dave Fenstermacher of VHB presented the application and posted the plan showing the pan handle shaped lot 1, and the adjacent lot 2 owned by North Country Trust which is landlocked. He is working with DOT on a limited access ROW.

Vice-Chair Brown opened public comment at 8:46 PM.

Mr. Sharples reviewed the two conditions of approval:

1. The subdivision plans shall be submitted as a shape file or Cad file in state plane coordinates to the satisfaction of the Town Planner; and

2. All monumentation shall be set in accordance with Section 9.15 of the Exeter site plan review and subdivision regulations.

Ms. Belanger motioned that the request of VHB for a lot line adjustment to transfer 3.009 acres from Map 66, Lot 1 owned by Palmer & Sicard, Inc. to Map 66, Lot 2, owned by North Country Trust be approved with the conditions read by the Town Planner, Dave Sharples. Ms. English seconded the motion. A vote was taken, all were in favor, the motion passed unanimously.

VI. OTHER BUSINESS

- Master Plan Discussion

Mr. Sharples indicated they will be looking at zoning amendments and will reschedule their meeting to October 22nd at 8 AM.

- Field Modifications

- Bond and/or Letter of Credit Reductions and Release

VII. TOWN PLANNER'S ITEMS

Mr. Sharples reported that applicants had been receiving spam fraud asking for a \$5,000 approval fee and this would likely be warned against on the town webpage in the near future.

VIII. CHAIRPERSON'S ITEMS

254 Acting Chair Brown reported that member, John Grueter, will be taking a leave of absence. Ms.
255 Belanger will ask the town manager about that as the Select Board has been discussing quorum issues
256 and potentially limiting the number of other committee meetings.

257 **IX. PB REPRESENTATIVE'S REPORT ON "OTHER COMMITTEE ACTIVITY"**

258 **X. ADJOURN**

259 ***Ms. Belanger motioned to adjourn the meeting at 8:53 PM. Mr. Brown seconded the motion.***
260 ***A vote was taken, all were in favor, the motion passed unanimously.***

261 Respectfully submitted.

262 Daniel Hoijer,
263 Recording Secretary (Via Exeter TV)

JONES & BEACH ENGINEERS INC.

100 Domain Drive, Suite 201, Exeter, NH 03833
603.772.4746 – JonesandBeach.com

September 16, 2026

Exeter Planning Board
Attn. Langdon Plumer, Chair
10 Front Street
Exeter, NH 03833

**RE: Extension Request for Site Plan Approval
73 Winter Street, Exeter, NH
Tax Map 73, Lot 143
JBE Project No. 05241.1**

Dear Mr. Plumer,

Jones & Beach Engineers, Inc., on behalf of our client, Exeter Presbyterian Church, would like an extension on the Site Plan Approval dated September 25, 2025 for the above referenced project on 73 Winter Street in Exeter, NH for a period of one year. Construction is set to begin in Spring 2027.

If you should have any questions, please contact this office.

Very truly yours,



Paige Libbey, P.E.
Associate Principal

cc: Skip Phelps, Exeter Presbyterian Church (via email)



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

September 26, 2025

Paige Libbey, P. E., Associate Principal
Jones & Beach Engineers, Inc.
85 Portsmouth Avenue
POB 219
Stratham, New Hampshire 03885

Re: PB Case #25-6 Exeter Presbyterian Church
Site Plan Review for Proposed Addition & Parking
73 Winter Street, Exeter, N.H.
Tax Map Parcel #73-143

Dear Ms. Libbey:

Please be advised that at the meeting of September 25th, 2025, the Exeter Planning Board voted to **APPROVE** the above-captioned application for site plan review for the proposed construction of an additional building, parking and associated site improvements on the property located at 73 Winter Street, as presented, subject to the following conditions:

1. An electronic As-Built Plan with details acceptable to the Town shall be provided prior to issuance of a certificate of occupancy. This plan must be in a dwg or dxf file format and in NAD 1983 State Plane New Hampshire FIPS 2800 Feet coordinates;
2. A preconstruction meeting shall be arranged by the applicant and his contractor with the Town Engineer prior to any site work commencing. The following must be submitted for review and approval prior to the preconstruction meeting:
 - i. The SWPPP (storm water pollution prevention plan), if applicable, and,
 - ii. A project schedule and construction cost estimate.
3. Third party construction inspections fees shall be paid prior to scheduling the preconstruction meeting;
4. The Annual Operations and Maintenance Report in the Stormwater Operations and Maintenance Manual (revised March 15, 2025), shall be completed and submitted to the Town Engineer annually on or before January 31st. This requirement shall be an ongoing condition of approval and included in the condominium documents;
5. Any applicable State permit approval numbers shall be noted on the final plans; All appropriate fees to be paid including but not limited to: sewer/water connection fees, impact fees, and inspection fees (including third party inspections), prior to the issuance of a certificate occupancy;

6. A restoration and erosion control surety, in an amount and form reviewed and approved by the Town Planner in accordance with Section 12 of the Site Plan Review and Subdivision Regulations, shall be provided prior to any site work;
7. All landscaping shown on plans shall be maintained and any dead or dying vegetation shall be replaced, no later than the following growing season, as long as the site plan remains valid. This condition is not intended to circumvent the revocation procedures set forth in State statutes;
8. All outdoor lighting (including security lights) shall be down lit and shielded so no direct light is visible from adjacent properties and/or roadways;
9. The applicant shall submit the land use and stormwater management information about the project using the PTAPP Online Municipal Tracking Tool (<https://ptapp.unh.edu/>). The PTAPP submittal must be accepted by DPW prior to the pre-construction meeting;
10. Substitute the two 2.25" green gable tupelo trees shown on the landscaping plan with two 3" caliper native tree species; and
11. Shift the location of the tree (Silhouette Sweetgum) at the front of the property closer to the sidewalk and away from the snow storage area, as discussed.

At this same meeting, the Board granted the following waivers from the Site Plan Review & Subdivision Regulations:

- Section 9.3.6 - to allow grading within five (5) feet of a property line
- Section 7.4.10 - to provide High Intensity Soil Survey (HISS) information on the Site Plan

Please feel free to contact the Planning Department at 773-6114 with any questions.

Sincerely,



Carol Ogilvie
Interim Town Planner
(on behalf of the Planning Board Chairman)

cc: Skip Phelps, Exeter Presbyterian Church
Doug Greene, Architect, Port City Design
Douglas Eastman, Building Inspector/Code Enforcement Officer
Janet Kenerson, Town Assessor

CO:bsm



TOWN OF EXETER

Planning and Building Department

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

Date: September 14, 2026
To: Planning Board
From: David Sharples, Town Planner
Re: PB Case #26-11 BA Beals Associates for Stonearch Development

The applicant is requesting approval for a Lot Line adjustment and open space subdivision, for the redevelopment of property located at 5 Brentwood Road. The redevelopment will consist of 8 residential condominium units of single-family homes. The project includes a new roadway, underground utilities and drainage structures and is located on Tax Map 62 Parcel 111.

The applicant has appeared before the Board in June and August 14 and held a joint site walk with the Conservation Commission. At the last meeting, the applicant had just received the UEI review letter #2. The applicant has submitted a letter in response the UEI letter that are both enclosed for your review. The applicant also submitted updated plans as part of their response and they are also enclosed.

The applicant did appear before the Conservation Commission to review the CUP at their July meeting and recommended approval of the CUP. It is important to note that the applicant stated at the last meeting that the road would remain private so that alleviated the need for a waiver from having to back out onto the street and other dimensional requirements. I will be prepared with suggested conditions of approval should the Board decide to act on the proposal.

Planning Board Motions:

Open Space Subdivision Motion: I move that the request of BA Beals Associates, on behalf of Stonearch Development (PB Case #26-1 for Lot Line Adjustment, Minor Subdivision, and Site Plan approval be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Conditional Use Permit (Wetlands) Motion: After reviewing the criteria for a Wetlands Conditional Use permit, I move that the request of BA Beals Associates, on behalf of Stonearch Development (PB Case #26-1) for a Conditional Use Permit be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Thank You.

Enc (2)



Exeter Planning Board,
David Sharples, Town Planner
Town Planning Office, Town of Exeter
10 Front Street
Exeter, NH 03833

September 17, 2026

Re: Stonearch Development Group - 5 Brentwood Road – Residential Development
Response to UEI Comments

Dear Mr. Chairman, Members of the Board, & Mr. Sharples:

We are in receipt of a second review letter from Underwood Engineers, dated August 26, 2026 and we offer the following responses to the noted comments. Each comment is repeated followed by our response in ***bold italics***.

GENERAL

2. Will there be individual mailboxes or will the USPS require a kiosk?
Beals Response: A mail kiosk has been provided along the entrance to the subdivision.
UE Response: Will the mail kiosk include boxes for the two units off McKay Drive?

Response: The mail kiosk will be exclusively for the new units off of Brentwood Road and mailboxes will be provided for the two units off McKay Drive.

SITE PLANS

9. For a public road, the following Town of Exeter minimum roadway requirements do not appear to be met:
a. 24' width
b. 1% slope
c. 6' shoulders
Beals Response: A 20-foot-wide roadway is provided along with a firetruck turn template to be reviewed by the Fire Department, a minimum of 1% is provided along the roadway, and sidewalk have been provided for shoulders.
UE Response: Waiver requests must be submitted for the roadway width and for elimination of the shoulder on one side of the road.

Response: The roadway has been revised from a public to a private roadway, therefore waiver requests for Town owned or maintained roads are not required.

12. The driveway layouts are concerning:
a. Several of them are not perpendicular to the cul-de-sac. Where possible, all driveways should be as near to perpendicular as possible. Please revise applicable driveways.

- b. We understand 2-car garages will be provided, but the width of the driveways at each unit does not appear to be wide enough for 2 cars to enter.
- c. Vehicles are not allowed to back out into the street per Town regulations, so turnarounds must be added to all driveways.

Beals Response: Driveways have been revised to be more perpendicular to the roadway, the width of the driveway near the garage has been revised to 20 feet wide, and turnarounds have been added where space allows.

UE Response: Only 2 of the 6 driveways off the cul-de-sac are shown with small turnaround areas. We defer further discussion to the Planning Board.

Response: Turnaround requirements for the private roadway can be discussed with the Planning Board.

17. Regarding bioretention pond #1:

- a. Only one outlet in the form of a weir is provided for bioretention pond #1. In accordance with the NH Stormwater Manual, all impoundment Stormwater Control Structures (SCMs), including bioretention ponds, are to be designed with a primary outlet structure to pass a range of design storms as well as an emergency spillway to pass the emergency storm flow. The design storms for peak runoff control in Exeter are the 2-, 10-, and 50-year 24-hour storms. The emergency spillway is only supposed to experience discharges for flows exceeding the 50-year storm. Exeter's Site Plan and Subdivision regulations makes reference to the NH Stormwater Manual as the design standard for all stormwater treatment and infiltration practices, which include stormwater ponds.
- b. Access is to be provided to the outlet structure(s) for maintenance, and the top of the berm must be wide enough for equipment to reach the outlet if the berm is intended to be the access pathway.
- c. Label the depth of the upper-most bioretention soil mix layer in the Bioretention Pond Profile Detail.
- d. The bottom of the filter layer appears to be within 6" of a restrictive layer as described the test pit information for Test Pit #1. This would significantly restrict the ability of stormwater to infiltrate into the subsurface soils and would require a groundwater mounding analysis per Section 4.5.3 of the NH Stormwater Manual. Please provide this analysis.

Beals Response: The infiltrating bioretention system meets the NH Stormwater Manual design requirements as the weir is the outlet structure. An emergency spillway is not required since extreme storms do not exceed the capacity of the bioretention pond. A 4-foot-wide berm is provided for access around the pond. The depth of 18" of bioretention soil is labeled. Note #3 has been added to the Bioretention Pond Profile to call out the removal of the silt clay layer. The Filter Media Mixture table has been revised.

UE Response: With all due respect, the above response regarding compliance with the NH Stormwater manual is inaccurate. The design parameter for detention basins on page A-119 of NH Stormwater Manual (page A-119) calls for a primary outlet and a separate emergency spillway when the proposed detention basin impounds water above the existing ground elevation, which is the case with the proposed detention basin. These same design parameters in NH Stormwater Manual also requires 1 foot of freeboard above the 50-year 24-hour storm, whereas the Drainage Analysis shows only 0.44' and 0.16' of freeboard for the 10- and 50-year storms respectively. The Exeter Site and Subdivision Regulations requires all proposed developments with stormwater treatment

and infiltration practices “follow the guidance of NH Stormwater Manual”, which is referenced in numerous sections of the Regulations.

The top of the detention basin berm on Sheet 6 of the Plan is shown with the 65.0' topographic contours measuring 4 foot apart. However, a note on Sheet 6 indicates that the crest elevation of the berm is to be elevation 65.5' which would require a hump on top of the berm between the 65' contours with sideslopes greater than 4:1 slopes to achieve the desired elevation. This configuration is inconsistent with the design parameters in the NH Stormwater Manual and is inadequate for providing access for even a mini-excavator to maintain the outlet of the detention pond without damaging the top of the berm. It is recommended that a least a 6-foot wide level crest with an elevation of 65.5 be provided to enable the necessary access to the outlet for future maintenance.

Response: The bioretention pond is an acceptable, allowable structural treatment practice as listed in the NH Stormwater Manual (page A-35). The review engineers are referring to a Detention Basin (page A-119) that is listed as a structural conveyance as opposed to a structural treatment practice. This is a separate and different use that has specific requirements that do not apply to our stormwater design.

While a primary outlet, a separate emergency spillway, and 1-foot of freeboard over the 50-year 24-hour storm are required for a detention basin as a structural conveyance, the bioretention requirements do not list these requirements as part of the design for the structure treatment practice. Rather, the bioretention has two means of outletting stormwater: infiltration and a riprap weir.

The proposed bioretention pond design has therefore been developed in accordance with the applicable state and local stormwater management criteria currently in effect along with the use of stabilized overflow and outlet controls that prevent uncontrolled overtopping.

Additional freeboard is not considered necessary for this application due to the shallow ponding depth of under 17-inches during the 50-year storm event, the stable side slopes proposed, and the presence of a controlled outlet structure designed to safely convey stormwater during larger storm events. The bioretention systems are intended to function as low-head water quality treatment practices rather than embankment dams (i.e., detention pond), and the contributing drainage areas and storage volumes are limited in scale.

The top of berm elevation has been revised to 65.50 and a 4-foot wide berm is proposed to meet NH Stormwater Regulations.

26. The underground utilities should be shown on the landscaping plan. We will review conflicts with utilities once the revised plan is received.

Beals Response: The Planting Plan has been revised to include underground utilities.

UE Response: Regarding the Planting Plan:

- a. McKay Drive houses - New trees are proposed on the adjacent property within the access and utility easement area. Please remove them.
- b. White spruce trees are clustered around a flared-end section north of the northeast corner of TM 62 / Lot 110. Please move them so they don't interfere with drainage flow.
- c. A crabapple tree is shown directly over the sewer service to unit 5.

- d. **The eastern red cedar shown to the east of the catch basin in the cut-de-sac may cause access difficulties when the structure needs to be cleaned.**
- e. **Two trees in the cul-de-sac are shown in close proximity to the water main.**

Response: The Planting Plan has been revised accordingly.

DRAINAGE REPORT

- 2. The Amoozemeter Test data sheets do not indicate the depth or the elevation of the bottom of the test hole at which test was conducted relative to the SHWT. Please provide this information.

Beals Response: Depths for each Amoozemeter test has been added to the data sheets.

UE Response: Based on the Amoozemeter Test Report at Test Pit A1, the test was conducted at a depth of 9", which is 21" above the proposed receiving layer for the detention basin. It is important to note the proposed receiving layer coincides with the elevation of the ESHWT at Test Pit A1 indicating that during periods of high water table the receiving layer would be saturated and using the Amoozemeter data from Test Pit 1A to model the detention basin would overestimate the infiltration capacity of the basin.

Response: To determine the impact of a high water table saturating the receiving layer below the filter media, we ran an analysis in HydroCAD where all infiltration for the Bioretention Pond is completely removed from the design. The results of this worst-case scenario show the peak elevation in the 50-year storm event rising from 65.39 to 65.41 and continues to meet design requirements. This analysis is provided in the drainage analysis.

- 4. The HydroCAD output does not provide enough information to evaluate how the bioretention pond #1 was modeled nor does it include the infiltration rate that was used. Please provide this information.

Response: The 10-year output continues to provide all relevant modeling information, including the stone layer, filter media layer, infiltration rate, and outlet weir configuration used in the design. No changes have been made to the level of detail provided, as this information was included in the initial model output submitted for review.

UE Response: As described in UE's response to comment 17 above, the 10- and 50-year peak elevations violate the requirement for maintaining 1 foot of freeboard for detention basins on Page A-119 of the NH Stormwater Manual. UE's response to the above comments regarding the detention basin design and how it was modeled highlights our concerns regarding the ability of the proposed detention basin design to infiltrate at the desired capacity and the overall ability of the detention basin to adequately manage the design storms. This response also applies to Beals' responses to UE's Drainage Analysis comments 5-8, and it is recommended that the detention design be revised accordingly and the drainage analysis updated.

Response: See response to comment #17 above that highlights the review engineers' position to require adherence to detention pond requirements where a bioretention pond is proposed.

NEW COMMENTS

1. The revised layout included an additional driveway to the existing house on Tax Map 62, Lot 110 coming off of the new roadway. Will that parcel be included in the HOA? Will the existing driveway to Brentwood Road be removed?

Response: The design plan now provides for driveway access for the existing house to the east and to the west of the new roadway. Neither house will be included in the HOA and neither driveway are intended to be removed from Brentwood Road.

2. Please add finished floor elevations to the plans for all houses.

Response: Finished floor elevations have been added to all houses.

3. McKay Drive may be a private roadway. Further discussion deferred to the Town of Exeter.

Response: McKay Drive is a private roadway with an access and utility easement to the proposed units.

4. We recommend moving PCB #1 out of the middle of the driveway to the western curbline to intercept flow before it reaches the driveway. As shown, the catch basin is in the walking route of the sidewalk and it will be awkward for strollers, mobility scooters, etc to navigate around it.

Response: PCB#1 has been relocated further from the walking route.

5. The previous version of the plans indicated drip edges at each house. In this version, only one house has drip edges. Will gutters direct the roof runoff to the pervious walkway and patios? If so, why doesn't the drainage model reflect that?

Response: Drip edges have been included for all roofs that do not enter the bioretention pond. The drainage model does not reflect the drip edges in an effort to provide a more conservative design approach.

6. Regarding the two homes off McKay Drive:
 - a. Revise the sewer services to tie into the forcemain stub provided per the McKay Drive as-built plan previously provided.
 - b. Show the two existing water service stubs provided.
 - c. Show grading at each unit.
 - d. If applicable, show and label driveway culverts.

Response: Utilities from the roadway as-built have been added to the plans and utilities revised to meet their locations. Grading for each unit has been added and driveway culverts are not required.

7. The lighting plan indicates the mail kiosk area will be lit by the proposed light at the entrance. The landscaping plan shows a tree between the light and the kiosk. Please revise the lighting plan per the effect of the tree if needed.

Response: Lighting for the mail kiosk will be provided by vehicles or residents collecting mail.

Thank you for your timely and professional review of the submitted plans. We hope the information provided address your concerns. Please feel free to contact our office if you have any additional question and/or comments.

Very Truly Yours,
BEALS ASSOCIATES, PLLC

Christian O. Smith

Christian O. Smith, PE
Principal

RESIDENTIAL SITE PLAN
5 BRENTWOOD ROAD
EXETER, NH
TAX MAP 62, LOTS 110 & 111

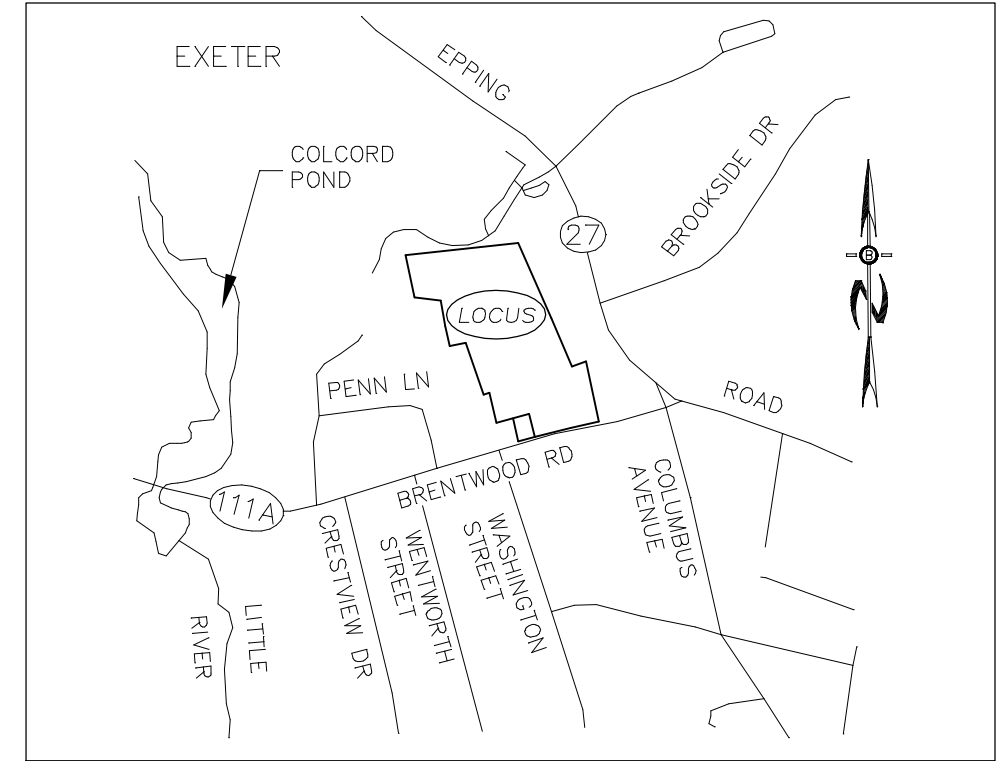
MAY 26, 2026

DRAWING INDEX

SHEET #	TITLE
	COVER SHEET
1	LOT LINE ADJUSTMENT PLAN
2	EXISTING CONDITION PLAN
3	OVERALL SUBDIVISION SITE PLAN
4-5	SUBDIVISION SITE PLANS A & B
6	PROFILE & UTILITY PLAN
7	LIGHTING PLAN
8A&B	PLANTING PLANS
9	EXETER LADDER TRUCK TURNING PLAN
10	EROSION & SEDIMENT CONTROL DETAILS
11-12	CONSTRUCTION DETAILS

REQUIRED STATE & FEDERAL PERMITS
EPA CONSTRUCTION GENERAL PERMIT SUBMITTAL PENDING
NHDES SEWER CONNECTION SUBMITTAL PENDING

LOCATION MAP

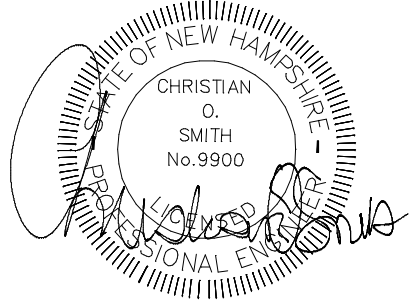


SCALE: 1"=500'

CIVIL ENGINEERS:

BA
BEALS
ASSOCIATES, PLLC

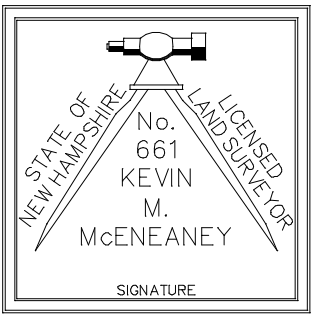
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860



LAND SURVEYORS:

McG
Survey
Associates
of NEW ENGLAND

P.O. Box 1166 — 181 WATSON ROAD
DOVER, NH 03820 (603) 742-0911



PLAN SET LEGEND

5/8" REBAR	●	VGC	VERTICAL GRANITE CURB
DRILL HOLE	○	OVERHEAD ELEC. LINE	— GR —
CONC. BOUND	□	FENCING	— D —
UTILITY POLE	⊙	DRAINAGE LINE	— S —
DRAIN MANHOLE	⊗	SEWER LINE	— G —
SEWER MANHOLE	⊕	GAS LINE	— W —
EXISTING LIGHT POLE	⊛	WATER LINE	— — — — —
EXISTING CATCH BASIN	⊞	STONE WALL	— — — — —
PROPOSED CATCH BASIN	⊟	TREE LINE	— — — — —
WATER GATE	⊠	ABUT. PROPERTY LINES	— — — — —
WATER SHUT OFF	⊡	EXIST. PROPERTY LINES	— — — — —
HYDRANT	⊢	BUILDING SETBACK LINES	— — — — —
PINES, ETC.	⊣	EXIST. CONTOUR	— — — — —
MAPLES, ETC.	⊤	PROP. CONTOUR	— — — — —
EXIST. SPOT GRADE	⊥	SOIL LINES	— — — — —
PROP. SPOT GRADE	⊦		
DOUBLE POST SIGN	⊧		
SINGLE POST SIGN	⊨		

RECORD OWNER

DONALD E. KELSEY II REVOCABLE LIVING TRUST
DONALD E. KELSEY II TRUSTEE
39 BOW VIEW DRIVE
STRAFFORD, NEW HAMPSHIRE 03884

PATRICIA A. WASHBURNE REVOCABLE TRUST
PATRICIA A. WASHBURNE TRUSTEE
39 BOW VIEW DRIVE
STRAFFORD, NEW HAMPSHIRE 03884

RECORD APPLICANT

STONEARCH DEVEL. CORP.
3 QUILL LN, SUITE 107
BARRINGTON, NH 03825

REQUIRED PERMITS
NHDES SEWER CONNECTION

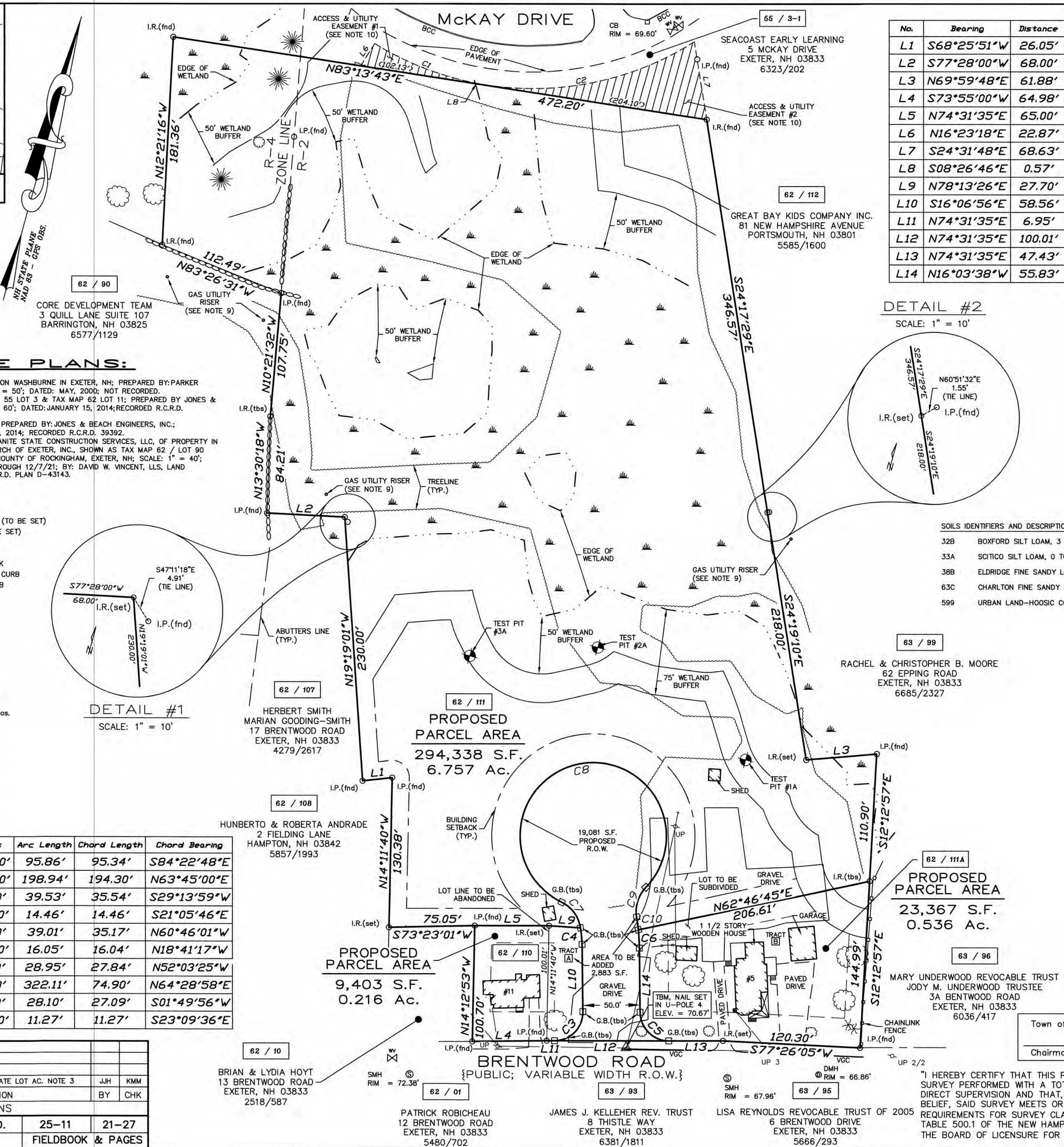
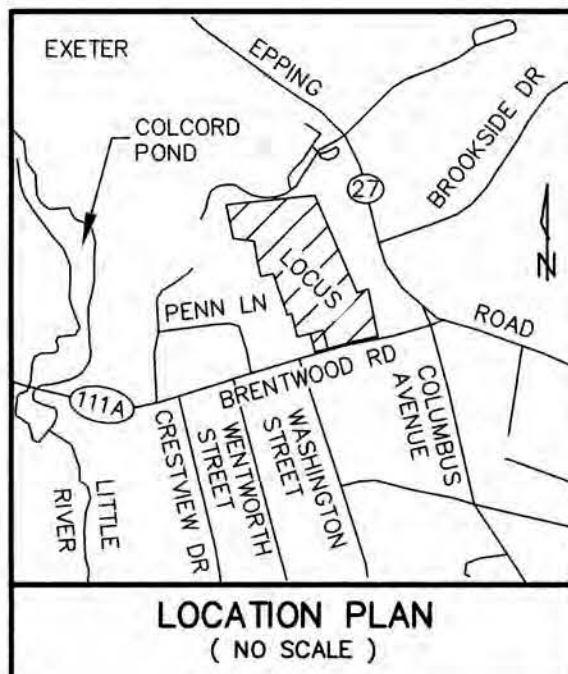
PB CASE # PENDING

CHAIRMAN SIGNATURE:

	REVISIONS:	DATE:
1	REVISED PER REVIEW COMMENTS	08/13/26
2	REVISED PER REVIEW COMMENTS	09/17/26
3		
4		
5		

WETLAND/ENVIRONMENTAL CONSULTANT:

JOHN P. HAYES III CSS, CWS
7 LIMESTONE WAY
NORTH HAMPTON, NH 03862
603-205-4396



No.	Bearing	Distance
L1	S68°25'51"W	26.05'
L2	S77°28'00"W	68.00'
L3	N69°59'48"E	61.88'
L4	S73°55'00"W	64.98'
L5	N74°31'35"E	65.00'
L6	N16°23'18"E	22.87'
L7	S24°31'48"E	68.63'
L8	S08°26'46"E	0.57'
L9	N78°13'26"E	27.70'
L10	S16°06'56"E	58.56'
L11	N74°31'35"E	6.95'
L12	N74°31'35"E	100.01'
L13	N74°31'35"E	47.43'
L14	N16°03'38"W	55.83'

DETAIL #2

SCALE: 1" = 10'

SOILS IDENTIFIERS AND DESCRIPTION	
32B	BOXFORD SILT LOAM, 3 TO 8 PERCENT SLOPES
33A	SOTICO SILT LOAM, 0 TO 5 PERCENT SLOPES
38B	ELDRIDGE FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
63C	CHARLTON FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES, VERY STONY
599	URBAN LAND--HOOSIC COMPLEX, 3 TO 15 PERCENT SLOPES

LEGEND

I.R.(tbs) ○ - IRON ROD W/ I.D. CAP (TO BE SET)
 G.B.(tbs) □ - GRANITE BOUND (TO BE SET)
 I.R.(fnd) ○ - IRON ROD (FOUND)
 I.P.(fnd) ○ - IRON ROD (FOUND)

△ TBM - TEMPORARY BENCHMARK
 BCC - BITUMINOUS CONCRETE CURB
 VGC - VERTICAL GRANITE CURB
 CB - CATCH BASIN

⑤ SMH - SEWER MANHOLE
 ⑥ DMH - DRAIN MANHOLE

 W - WATER
 - WATER GATE VALVE

S.F. - SQUARE FEET
 Ac. - ACRE

(TYP.) - TYPICAL
 ± - MORE OR LESS
 Ø - DIAMETER

R.C.R.D. - ROCKINGHAM COUNTY
 REGISTRY OF DEEDS

 UP 2/2 - UTILITY POLE W/ I.D. Nos.

----- - EDGE OF WETLAND
 - WETLAND SYMBOL

 - DECIDUOUS TREE

 - CONIFEROUS TREE

 - SHRUB

 - SOIL TEST PIT

No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	20°43'35"	265.00'	95.86'	95.34'	S84°22'48"E
C2	43°00'49"	265.00'	198.94'	194.30'	N63°45'00"E
C3	90°35'13"	25.00'	39.53'	35.54'	S29°13'59"W
C4	6°37'47"	125.00'	14.46'	14.46'	S21°05'46"E
C5	89°24'47"	25.00'	39.01'	35.17'	N60°46'01"W
C6	5°15'18"	175.00'	16.05'	16.04'	N18°41'17"W
C7	55°17'32"	30.00'	28.95'	27.84'	N52°03'25"W
C8	288°22'19"	64.00'	322.11'	74.90'	N64°28'58"E
C9	53°40'24"	30.00'	28.10'	27.09'	S01°49'56"W
C10	3°41'21"	175.00'	11.27'	11.27'	S23°09'36"E

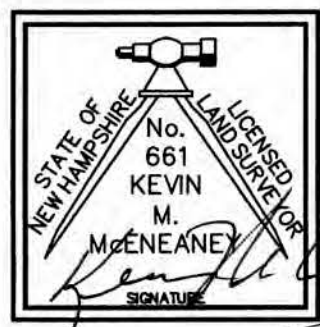
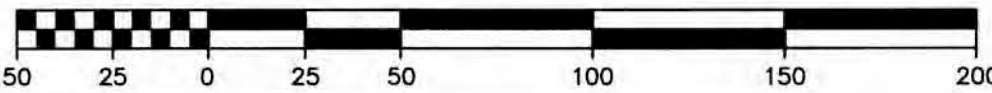
1	6/19/26	ZONING CORRECTION & UPDATE LOT AC. NOTE 3			JJH KMM
NO.	DATE	DESCRIPTION			BY CHK
REVISONS					
25218		LLA & SUBD.		25-11	21-27
PROJECT NO		TYPE		FIELDBOOK	& PAGES

NOTES:

- OWNERS OF RECORD:
- 62 / 110 DONALD E. KELSEY II REVOCABLE LIVING TRUST
DONALD E. KELSEY II TRUSTEE
39 BOW VIEW DRIVE
STRAFFORD, NEW HAMPSHIRE 03884
R.C.R.D. VOLUME 6158, PAGE 1525
- 62 / 111 PATRICIA A. WASHBURN REVOCAABLE TRUST
PATRICIA A. WASHBURN TRUSTEE
39 BOW VIEW DRIVE
STRAFFORD, NEW HAMPSHIRE 03884
R.C.R.D. VOLUME 3521, PAGE 2229
- 2.) 62 / 110 - DENOTES TAX MAP AND PARCEL NUMBER.
- 3.) PARCEL AREAS:
- | | EXISTING | PROPOSED |
|-----------|----------------------------|----------------------------|
| 62 / 110 | = 6,520 S.F. / 0.149 Ac. | = 9,403 S.F. / 0.216 Ac |
| 62 / 111 | = 339,669 S.F. / 7.797 Ac. | = 294,338 S.F. / 6.757 Ac. |
| 62 / 111A | N/A | = 23,367 S.F. / 0.536 Ac. |
- PROPOSED R.O.W. N/A = 19,081 S.F. / 0.438 Ac.
- 4.) THE INTENT OF THIS PLAN IS TO DEPICT A LOT LINE ADJUSTMENT WHERE A PORTION OF LOT 62/111 WILL BE ADDED TO LOT 62/110. THIS PORTION OF LOT 62/111 CONSISTS OF 2,883 S.F. AND IS LABELED AS TRACT [A]. THIS PLAN ALSO DEPICTS A MINOR SUBDIVISION OF THE SUBJECT PARCEL 62/111, CREATING LOT 62/111A, THIS LOT IS LABELED AS TRACT [B]. THIS PLAN ALSO DEPICTS A PROPOSED RIGHT OF WAY ALL EXISTING AND HEREON DEPICTED AREAS ARE DEPICTED IN THE TABLE ABOVE. EVERYTHING SHOWN HEREON DEPICTS SITE CONDITIONS AS OF JANUARY 14, 2026.
- 5.) ZONING DISTRICT: RESIDENTIAL - 2 / RESIDENTIAL - 4
WITH MUNICIPAL WATER & SEWER
DISTRICT (R-2)
DIMENSIONAL REQUIREMENTS:
MINIMUM LOT SIZE = 15,000 S.F.
MINIMUM WIDTH = 100 FEET
MINIMUM DEPTH = 100 FEET
MINIMUM FRONTAGE = 100 FEET
MAXIMUM BUILDING COVERAGE = 25 PERCENT
MINIMUM OPEN SPACE = 60/40 PERCENT
MINIMUM YARD SETBACKS:
FRONT SETBACK = 25 FEET
SIDE SETBACK (ONE) = 15 FEET
SIDE SETBACK (BOTH) = 30 FEET
REAR SETBACK = 25 FEET
MAXIMUM BUILDING HEIGHT = 35 FEET / 3 STORIES
- 6.) THE SUBJECT PARCELS ARE OUTSIDE OF THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP: 3301SC04002E WITH AN EFFECTIVE DATE OF MAY 17, 2005.
- 7.) BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATE DECEMBER 4, 2025. VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATION DATE DECEMBER 4, 2025.
- 8.) WETLANDS SHOWN WERE DELINEATED BY JOHN P. HAYES III, C.W.S. No. 18, ON DECEMBER 22, 2025, IN ACCORDANCE WITH THE 1987 CORPS. OF ENGINEERS WETLANDS DELINEATION MANUAL AND LOCATED BY THIS OFFICE.
- 9.) PARCEL 62/111 IS SUBJECT TO A GAS UTILITY EASEMENT AS DESCRIBED IN R.C.R.D. VOLUME 1374, PAGE 138. AS DEPICTED ON R.C.R.D. PLAN #0449.
- 10.) PARCEL 62/111 IS IN BENEFIT OF AN ACCESS & UTILITY EASEMENT AS RECORDED A R.C.R.D. VOLUME 5704, PAGE 2351, AS SHOWN ON REFERENCE PLAN #3 R.C.R.D. #0-39392.
- 11.) THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- 10.) THE SOURCE FOR THE SOIL TYPE DATA IS USDA NRCS WEB SOIL SURVEY [HTTP://WEBSOILSURVEY.NRCS.USDA.GOV/APP/WEBSOILSURVEY.ASPX](http://websoilsurvey.nrcs.usda.gov/app/websoilsurvey.aspx).

LOT LINE ADJUSTMENT &
MINOR SUBDIVISION
PREPARED FOR
DONALD E. KELSEY, II REV. TRUST
TAX MAP 62, LOT No. 110
& PATRICIA A. WASHBURNE REV. TRUST
TAX MAP 62, LOT No. 111
5 & 11 BRENTWOOD ROAD
TOWN of EXETER
COUNTY of ROCKINGHAM
STATE of NEW HAMPSHIRE

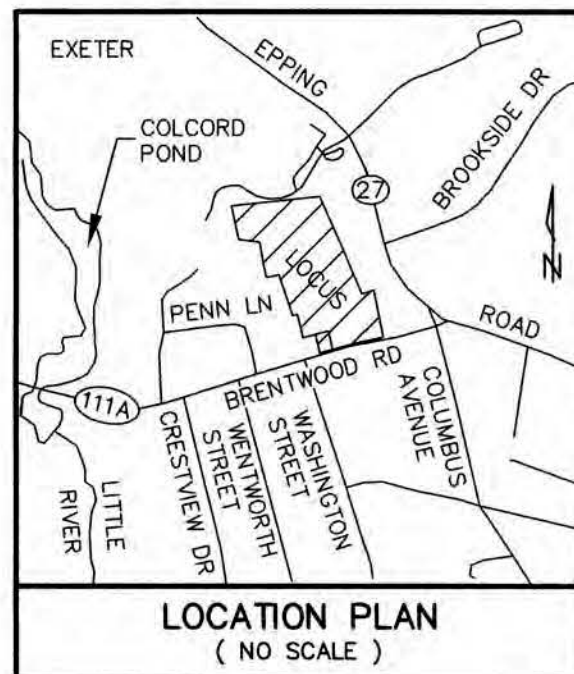
DRAWN BY: JJH	FILE: P:>25218\S\DWG\25218LLA
SCALE: 1" = 50'	DATE: MAY 8, 2026

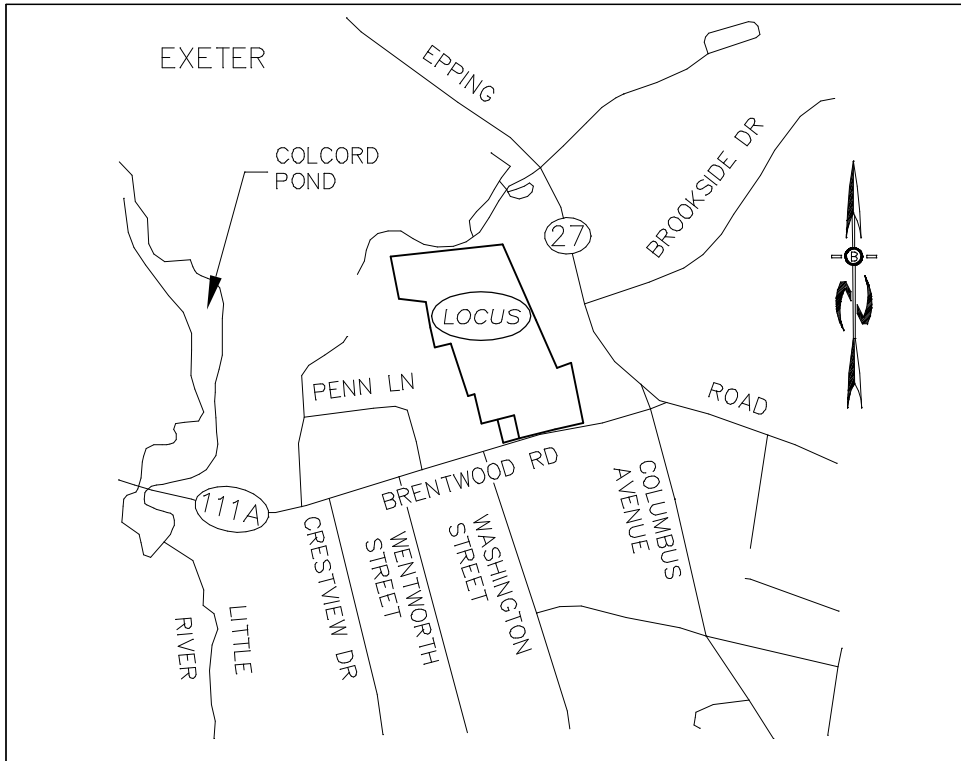


**McEneaney
Survey
Associates**
of NEW ENGLAND

P.O. Box 1166 - 181 WATSON ROAD
DOVER, NH 03821 (603) 742-091

SURVEYING – PLANNING – CONSULTING





LOCATION MAP
1"=500'

ZONING DISTRICT: RESIDENTIAL - 2 SINGLE FAMILY / RESIDENTIAL 4

DISTRICT (R-2)

DIMENSIONAL REQUIREMENTS: W/ UTILITIES
MINIMUM LOT SIZE = 15,000 SF
MINIMUM WIDTH = 100 FEET
MINIMUM DEPTH = 100 FEET
MINIMUM FRONTAGE = 100 FEET
MAXIMUM BUILDING COVERAGE = 25 PERCENT
MINIMUM OPEN SPACE = 60/40 PERCENT

MINIMUM YARD SETBACKS:
FRONT SETBACK = 25 FEET
SIDE SETBACK (ONE) = 15 FEET
SIDE SETBACK (BOTH) = 30 FEET
REAR SETBACK = 25 FEET

MAXIMUM BUILDING HEIGHT = 35 FEET / 3 STORIES

WETLANDS SETBACKS:
LIMITED USE (POORLY DRAINED) = 40 FEET
LIMITED USE (VERY POORLY DRAINED) = 50 FEET
PARKING & STRUCTURE = 75 FEET

DENSITY BONUS CALCULATION:

ZONING REGULATION 7.7.1.A ALLOWS 10% BONUS OF TOTAL ALLOWABLE NUMBER OF DWELLING UNITS IF 50% OR MORE OF THE NON-BUILDABLE, UNDEVELOPED, OR COMMON OPEN SPACE OPEN LAND IS PERMANENTLY CONVEYED FOR RECREATION OR CONSERVATION PURPOSES.

TOTAL PARCEL TO BE DEVELOPED = 294,338 SF = 6.76 ACRES

NON-BUILDABLE, UNDEVELOPED, OR COMMON OPEN SPACE = 175,059 SF = 4.02 ACRES

OPEN SPACE = 59.5% OF PARCEL TO BE DEVELOPED

YIELD PLAN = 7 LOTS

DENSITY BONUS = 10% OF 7 LOTS = 0.7 LOTS, ROUNDS TO 1 BONUS LOT

TOWN NOTES

- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- THE APPLICANT HAS DESIGNED THIS SITE TO SAFELY ACCOMMODATE MAXIMUM SIZE VEHICLES AND TRUCKS. (DESIGN VEHICLE IS THE EXETER LADDER TRUCK OR 35' BOX TRUCK) EITHER DELIVERING TO, OR USING THE PROPERTY.
- ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN TRAVEL AISLES.
- ALL WASTE MATERIALS AND RECYCLABLE SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON THE PROPERTY. REFUSE COLLECTION WILL BE BY DUMPSTER AS NEEDED.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.



PREPARED FOR:

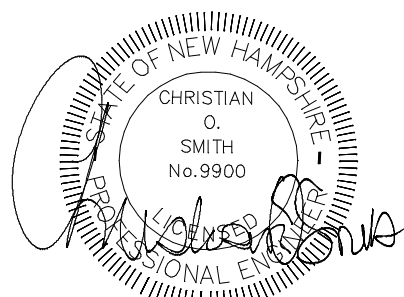
STONEARCH DEVEL. CORP.
3 QUILL LN, SUITE 107
BARRINGTON, NH 03825



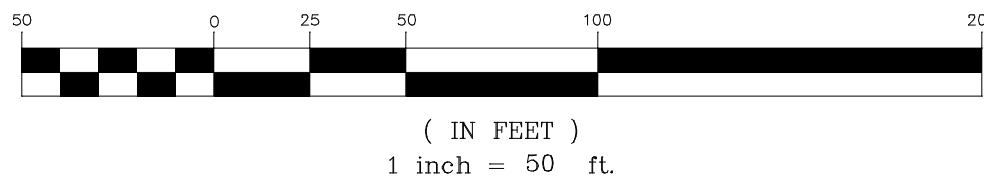
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860

NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW 6 NEW RESIDENTIAL HOMES WITH A PROPOSED CUL-DE-SAC ROADWAY AND 2 NEW RESIDENTIAL HOMES OFF OF MCKAY DRIVE.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF EXETER STANDARDS AND REGULATIONS.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
- IN ACCORDANCE WITH SITE PLAN REVIEW & SUBDIVISION REGULATIONS SECTIONS 7.15.10 AND 9.3.4 THE APPLICANT SHALL PROVIDE THE TOWN WITH THREE COPIES OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND ALSO ENSURE THAT ONE COPY REMAINS ON SITE.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- PROPOSED DISTURBANCE FOR CONSTRUCTION OF CUL-DE-SAC AND 6 HOMES = 2.1 ACRES.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO RELEASE OF BOND, THE APPLICANT SHALL SUBMIT A LETTER TO THE TOWN, SIGNED AND STAMPED BY THE DESIGN ENGINEER, WHO MUST BE A LICENSED PROFESSIONAL ENGINEER IN NH, STATING CONSTRUCTION HAS BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED PLANS.
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN, THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE.
- THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- THIS SITE IS NOT LOCATED IN THE 100 YEAR FLOOD ZONE.
- SEPARATION BETWEEN EACH HOME SHALL BE A MINIMUM OF 25 FEET. FIRE RATED PLYWOOD SHALL BE USED WHERE LESS THAN 30 FEET IS PROVIDED.
- BUILDING FOOTPRINTS, SIZE, AND STYLE SHOWN ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. FINAL BUILDING LOCATIONS AND FOOTPRINTS SHALL BE DETERMINED PRIOR TO ISSUANCE OF BUILDING PERMITS AND SHALL MEET ALL APPLICABLE REGULATIONS.
- BOTH UNITS ALONG MCKAY DRIVE SHALL NOT BE CONSTRUCTED UNTIL THE ROADWAY AND ASSOCIATED INFRASTRUCTURE ARE STABILIZED.



GRAPHIC SCALE



REVISED PER REVIEW COMMENTS	09/17/26
REVISED PER REVIEW COMMENTS	08/13/26
REVISIONS:	DATE:

OVERALL SUBDIVISION SITE PLAN

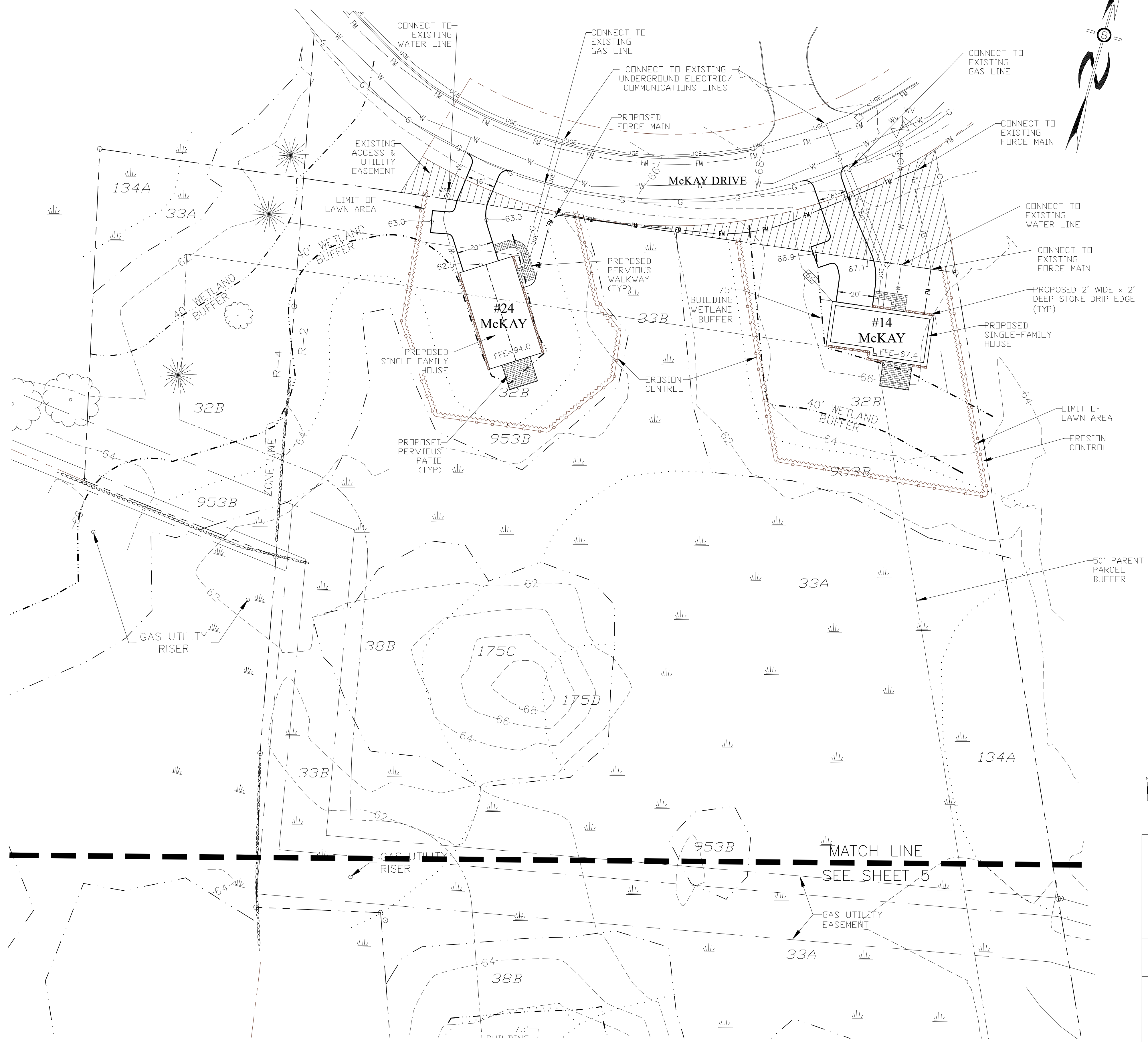
RESIDENTIAL DEVELOPMENT
5 BRENTWOOD ROAD
EXETER, NH
TAX MAP 62, LOT 111

DATE:	FEB, 2026	SCALE: 1" = 50'
PROJ. NO:	NH-1585	SHEET NO. 3



LOCATION MAP
1"=500'

- ZONING DISTRICT: RESIDENTIAL - 2 SINGLE FAMILY / RESIDENTIAL 4
DISTRICT (R-2)
- DIMENSIONAL REQUIREMENTS: W/ UTILITIES
- MINIMUM LOT SIZE = 15,000 SF
 - MINIMUM WIDTH = 100 FEET
 - MINIMUM DEPTH = 100 FEET
 - MINIMUM FRONTAGE = 100 FEET
 - MAXIMUM BUILDING COVERAGE = 25 PERCENT
 - MINIMUM OPEN SPACE = 60/40 PERCENT
- MINIMUM YARD SETBACKS:
- FRONT SETBACK = 25 FEET
 - SIDE SETBACK (ONE) = 15 FEET
 - SIDE SETBACK (BOTH) = 30 FEET
 - REAR SETBACK = 25 FEET
- MAXIMUM BUILDING HEIGHT = 35 FEET / 3 STORIES
- WETLANDS SETBACKS:
- LIMITED USE (POORLY DRAINED) = 40 FEET
 - LIMITED USE (VERY POORLY DRAINED) = 50 FEET
 - PARKING & STRUCTURE = 75 FEET

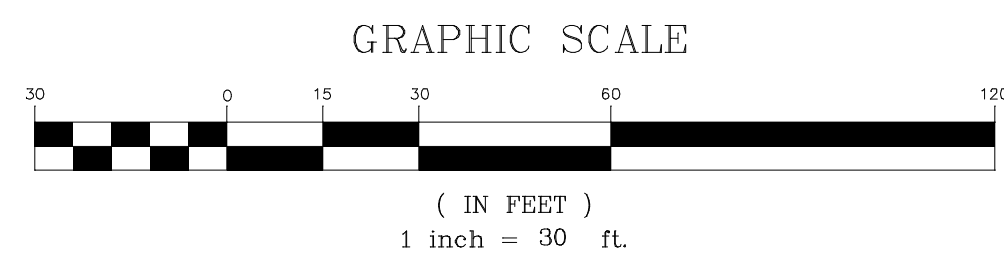
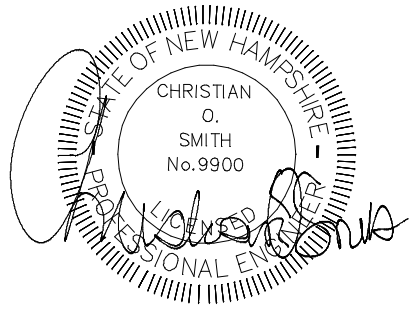


PREPARED FOR:
STONEARCH DEVEL. CORP.
3 QUILL LN, SUITE 107
BARRINGTON, NH 03825

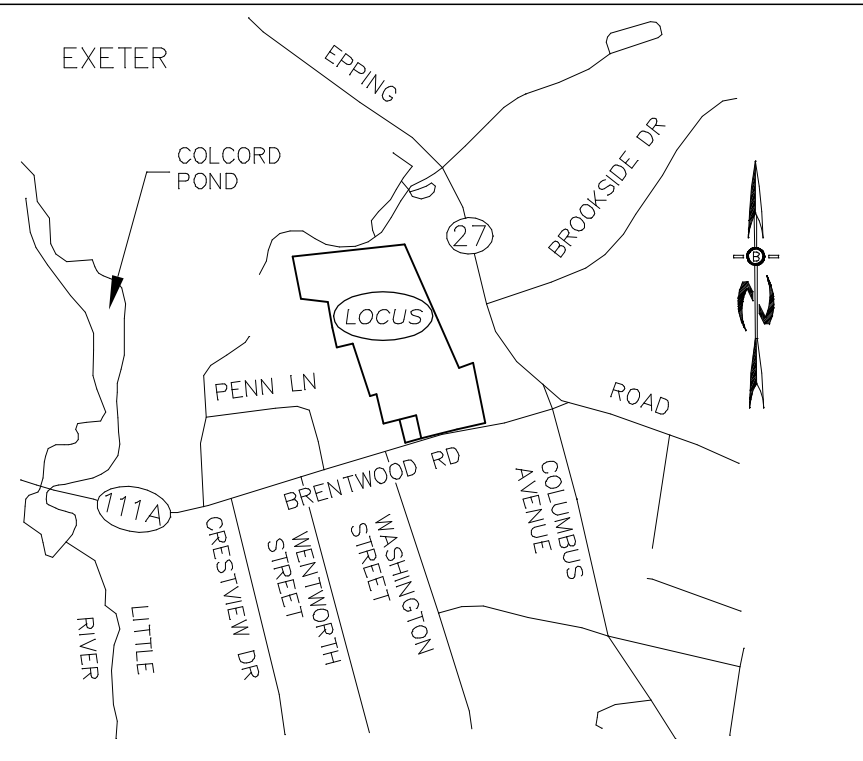
BA BEALS
ASSOCIATES, PLLC

70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860

NOTES:
1. ALL FRONT WALKWAYS AND REAR PATIOS SHALL BE PERVIOUS.

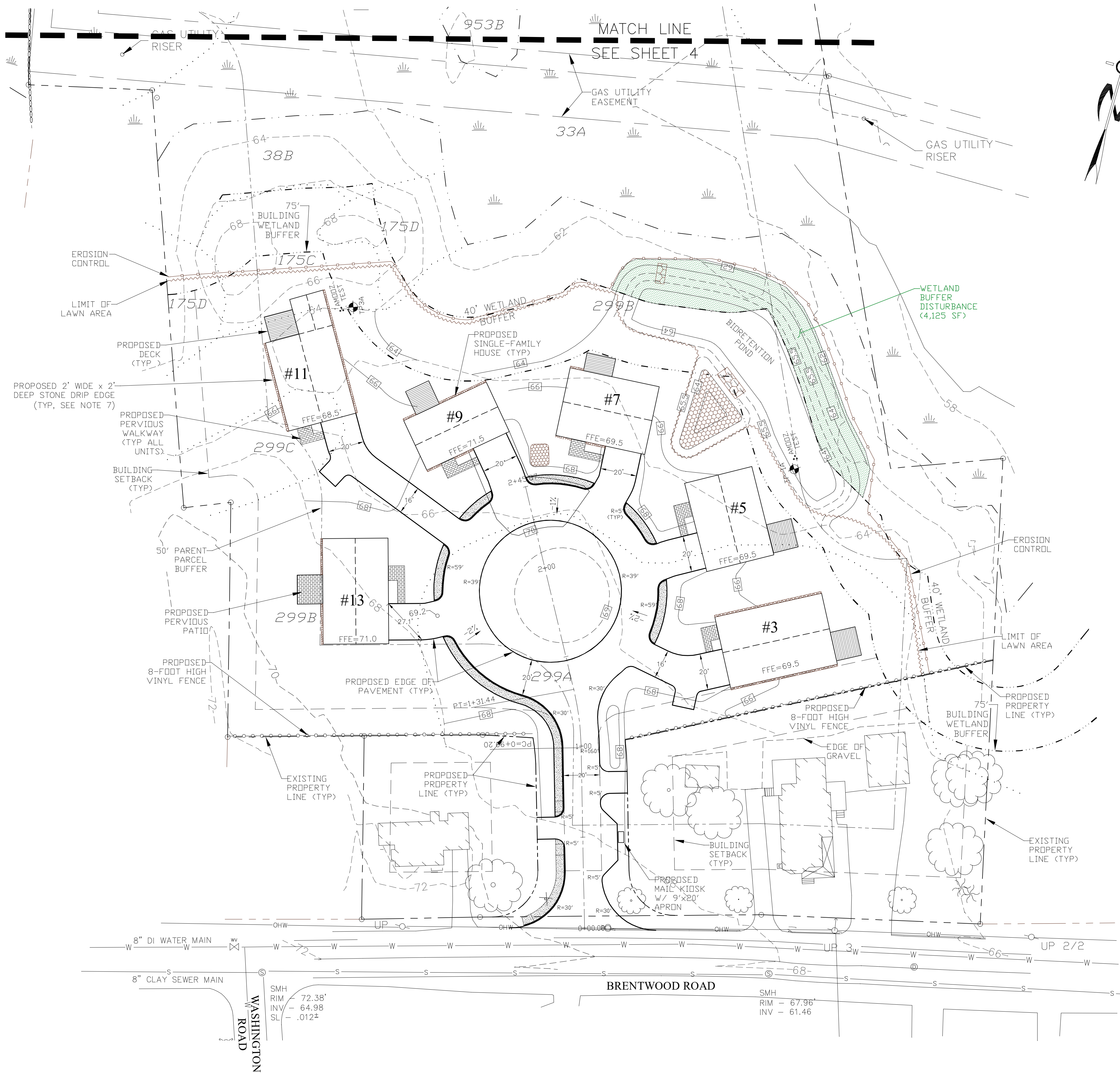


SUBDIVISION SITE PLAN A	
RESIDENTIAL DEVELOPMENT 5 BRENTWOOD ROAD EXETER, NH TAX MAP 62, LOT 111	
DATE:	FEB, 2026
PROJ. NO:	NH-1585
SCALE:	1" = 30'
SHEET NO.	4



LOCATION MAP
1"=500'

- ZONING DISTRICT: RESIDENTIAL - 2 SINGLE FAMILY / RESIDENTIAL 4
DISTRICT (R-2)
- DIMENSIONAL REQUIREMENTS: W/ UTILITIES
- MINIMUM LOT SIZE = 15,000 SF
 - MINIMUM WIDTH = 100 FEET
 - MINIMUM DEPTH = 100 FEET
 - MINIMUM FRONTAGE = 100 FEET
 - MAXIMUM BUILDING COVERAGE = 25 PERCENT
 - MINIMUM OPEN SPACE = 60/40 PERCENT
- MINIMUM YARD SETBACKS:
- FRONT SETBACK = 25 FEET
 - SIDE SETBACK (ONE) = 15 FEET
 - SIDE SETBACK (BOTH) = 30 FEET
 - REAR SETBACK = 25 FEET
- MAXIMUM BUILDING HEIGHT = 35 FEET / 3 STORIES
- WETLANDS SETBACKS:
- LIMITED USE (POORLY DRAINED) = 40 FEET
 - LIMITED USE (VERY POORLY DRAINED) = 50 FEET
 - PARKING & STRUCTURE = 75 FEET



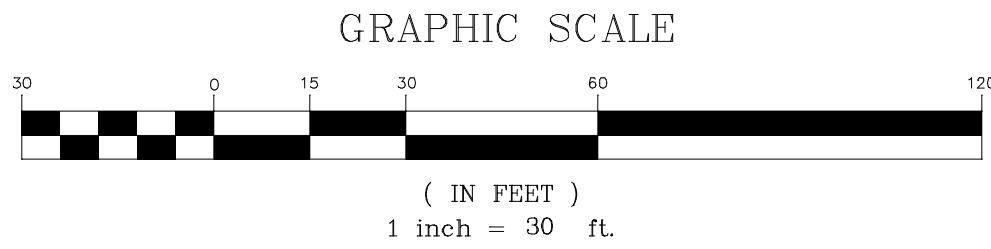
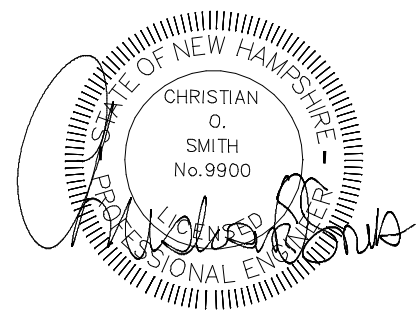
PREPARED FOR:
STONEARCH DEVEL. CORP.
3 QUILL LN, SUITE 107
BARRINGTON, NH 03825



70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860

NOTES:

1. ALL DECKS SHALL MEET SETBACK REQUIREMENTS.
2. ALL FRONT WALKWAYS AND REAR PATIO FOR UNIT #13 SHALL BE PERVIOUS.
3. ALL DECK BOARDS SHALL BE SPACED A MINIMUM OF 1/4-INCH AND CRUSHED STONE SHALL BE PLACED BENEATH DECKS.
4. ALL UNITS SHALL BE A MINIMUM OF 25 FEET FROM THE EDGE OF PAVEMENT.
5. ALL UNITS SHALL BE A MINIMUM OF 25 FEET FROM EACH OTHER.
6. ALL UNITS SHOWN REPRESENT THE BUILDING OVERHANG.
7. STONE DRIP EDGES TO BE LOCATED WHERE LOCATED ON PLANS.



REVISED PER REVIEW COMMENTS	09/17/26
REVISED PER REVIEW COMMENTS	08/13/26
REVISIONS:	DATE:

SUBDIVISION SITE PLAN B

RESIDENTIAL DEVELOPMENT
5 BRENTWOOD ROAD
EXETER, NH
TAX MAP 62, LOT 111

DATE:	MAY, 2026	SCALE:	1" = 30'
PROJ. NO:	NH-1585	SHEET NO.	5

NOTES

1. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE DETERMINED BY APPROPRIATE UTILITY COMPANY.
2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR, ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
3. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN OF EXETER STANDARD SPECIFICATIONS AND TO N.H.D.D.T. STANDARDS AND REGULATIONS.
4. ALL DRAINAGE STRUCTURE AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
5. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
6. ALL CROSS CULVERTS & DRIVEWAY CULVERTS TO BE MIN. 12" ADS N-12 AND TO HAVE MASONRY HEADWALLS UNLESS FLARED END SECTIONS ARE SPECIFIED ON THE PLANS.
7. NATURAL DEVELOPED AREA BUFFERS ARE TO REMAIN WOODED.
8. ALL SIDE SLOPES STEEPER THAN 3:1 TO BE LINED WITH JUTE MATTING.
9. NDT USED.
10. ALL PERMANENT EROSION CONTROL SWALE LINING MATERIAL SHALL BE NAG C350 OR EQUIVALENT. ALL OTHER SWALES WILL BE PROTECTED WITH TEMPORARY STONE CHECK DAMS (S.C.D.) UNTIL THE VEGETATION HAS FULLY STABILIZED. AT THIS TIME THE S.C.D.'S WILL BE REMOVED.

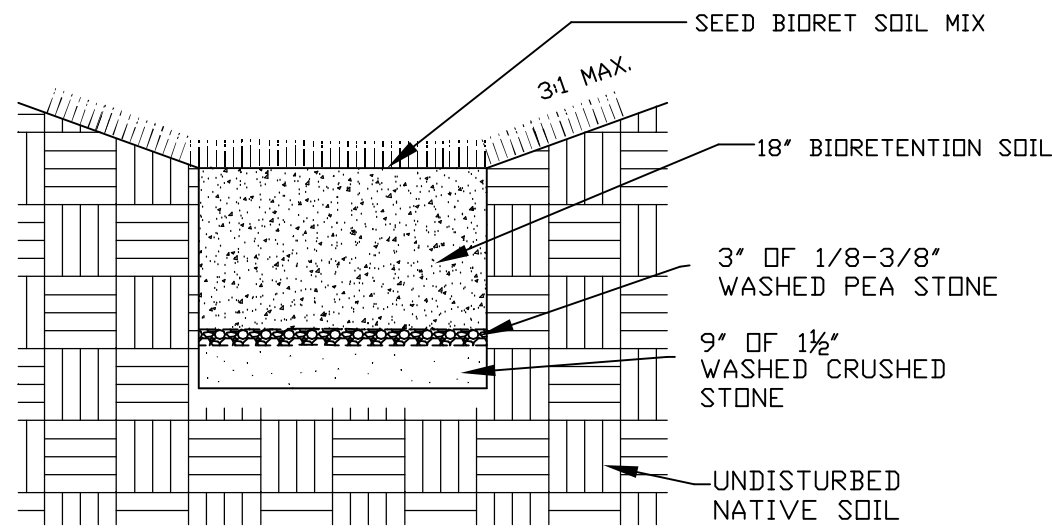
PREPARED FOR:

STONEARCH DEVEL. CORP.
3 QUILL LN, SUITE 107
BARRINGTON, NH 03825



70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860

1/8" - 3/8" PEA GRAVEL GRADATION	
SEIVE SIZE	% PASSING BY WEIGHT
3/8"	80-100
#4	10-30
#8	0-10
#200	0-1



- NOTES:
1. SCARIFY SIDES AND BOTTOM OF BIODETENTION AREA TO FACILITATE NATURAL INFILTRATION RATES.
 2. PROVIDE 12-INCH-DEEP LAYER OF COMPACTED LOW-PERMEABILITY FILL BENEATH SEDIMENT FOREBAY TO RIPRAP LIP OUTLET ELEVATION.
 3. THE SILT CLAY LAYER BELOW THE BOTTOM OF POND SHALL BE REMOVED AND REPLACED WITH COMMON SAND. SEE TEST PIT #1 LOG.

BIORETENTION POND PROFILE DETAIL
NOT TO SCALE

FILTER MEDIA MIXTURES

COMPONENT MATERIAL	PERCENT MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND, TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH FINES AS INDICATED	20 TO 30	200	< 5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH FINES AS INDICATED	20 TO 30	200	< 5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15

DRAINAGE NOTES:

- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- DO NOT PLACE SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIO-RETENTION AREA DURING ANY STAGE OF CONSTRUCTION.

PROFILE & UTILITY PLAN

RESIDENTIAL DEVELOPMENT
5 BRENTWOOD ROAD
EXETER, NH
TAX MAP 62, LOT 111

DATE:	MAY, 2026	SCALE: 1" = 30'
PROJ. NO:	NH-1585	SHEET NO. 6

LIVE TAP EXISTING 8" DI WATER MAIN FOR 6" DI SERVICE W/ TAPPING SLEEVE & GATE VALVE (CONTRACTOR TO CONFIRM EXACT LOCATION OF WATER MAIN PRIOR TO CONSTRUCTION) (COORDINATE WITH EXETER WATER DEPT)

STOP & ROADNAME SIGN SEE DET. SHT

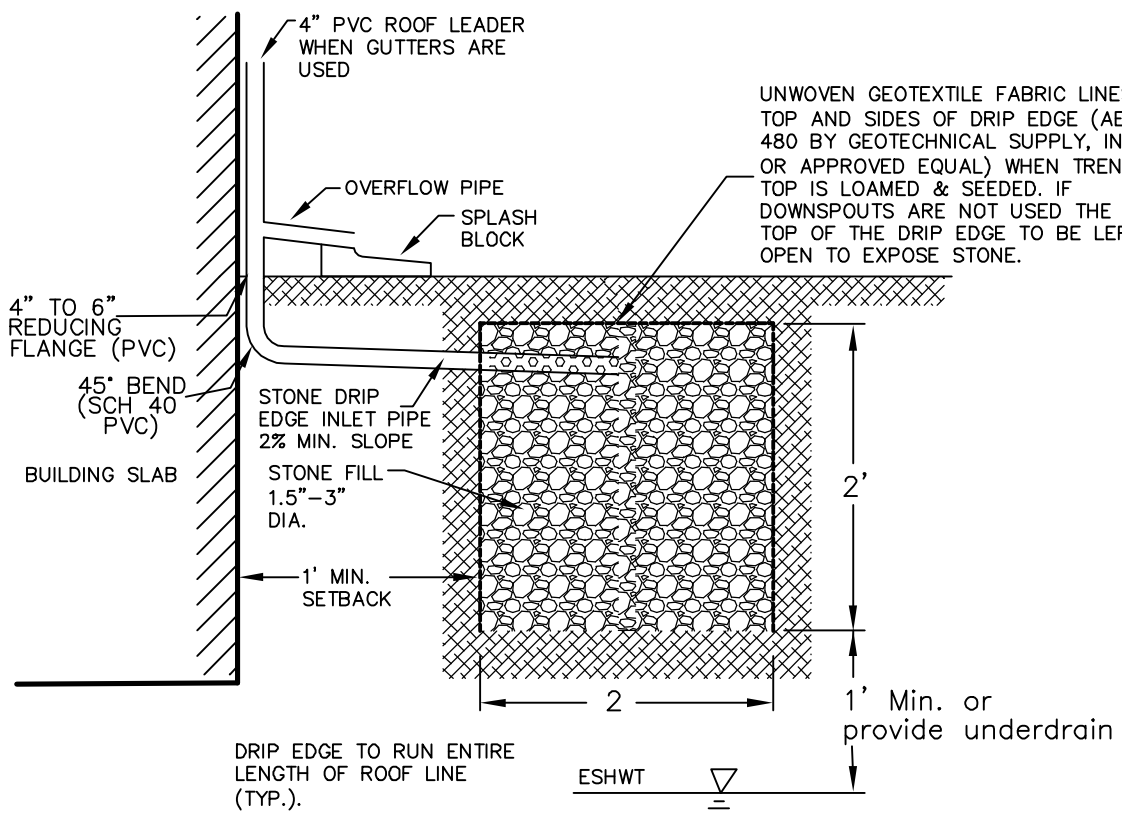
STABILIZED CONSTRUCTION ENTRANCE SEE SHT. 13

UTILITY POLE TO BE RELOCATED
PROPOSED UTILITY POLE W/ DROP CONNECTION

PROPOSED TRANSFORMER ON CONCRETE PAD

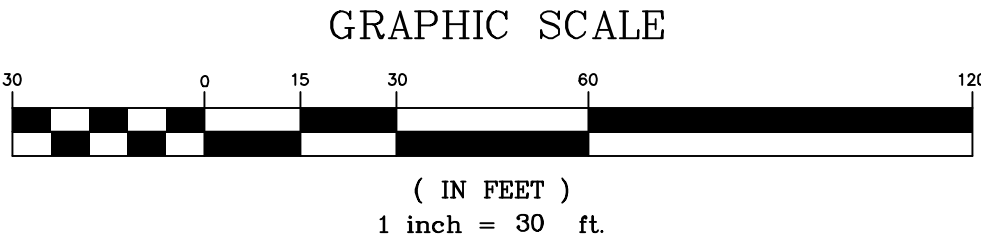
UTILITY NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES, AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE NOTICE TO ALL COMPANIES AND LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH, OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE SPECIFICATIONS FOR PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR PROPER UTILITY CROSSING REQUIREMENTS PRIOR TO CONSTRUCTION.
4. PRIOR TO THE PRE-CONSTRUCTION MEETING UGE&T PLANS FROM THE UTILITY COMPANIES NEED TO BE REDRAWN ON THIS SHEET. ADDITIONALLY THE CONTRACTOR NEEDS TO HAVE A COMPLETED SWPPP. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO EXETER STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR (OSHA) RULES AND REGULATIONS. BUILDINGS ARE TO BE SERVICED BY UNDERGROUND UTILITIES.
6. WATER LINE SHALL BE INSTALLED UNDER ALL UTILITY LINES WITH A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN UTILITIES AT CROSSINGS.
7. AN AS-BUILT PLAN IS TO BE PREPARED AND SUBMITTED TO DEPARTMENT OF PUBLIC WORKS IN DIGITAL (DWG AND PDF) AND MYLAR FORMATS.
8. THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL CONNECTION FEES.
9. SANITARY SEWER FLOW CALCULATIONS:
6 UNITS AT 3 BEDROOMS EACH = 18 BEDROOMS
DESIGN FLOW AT 150 GPD/BEDROOM = 2,700 GPD.
11. ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY CAP AND WITNESS AT END.
12. THRUST BLOCKS SHALL BE PROVIDED AT ALL WATER LINE BENDS, TEES, AND MECHANICAL JOINTS. CONTRACTOR SHALL MINIMIZE DISRUPTIONS TO EXISTING WATER SERVICES AND ALL REQUIREMENTS OF EXETER WATER DEPARTMENT SHALL BE FOLLOWED REGARDING NOTIFICATION OF INTERRUPTION OF SERVICE (MIN 48 HOURS). TEE INSTALLATION MAY NEED TO BE CONDUCTED AT NIGHT AS DIRECTED BY EXETER WATER DEPT.
14. WATER VALVES ARE TO BE OPERATED ONLY BY MUNICIPAL STAFF.
15. THE INSTALLATION OF SMOKE, HEAT, FIRE, OR CARBON MONOXIDE ALARMS OR SYSTEMS SHALL COMPLY WITH NFPA 72 REQUIREMENTS.
16. ALL SEWER SERVICE BENDS SHALL HAVE CLEANOUTS INSTALLED.
17. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 STORMWATER MANAGEMENT STANDARDS, STORMWATER MANAGEMENT PLAN, STORMWATER POLLUTION PREVENTION PLAN, AND EROSION AND SEDIMENT CONTROL STANDARDS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE". SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
18. THE CONTRACTOR MUST OBTAIN A VALID UTILITY PIPE INSTALLER'S LICENSE AND THE JOB SUPERVISOR OR FOREMAN MUST BE CERTIFIED BY THE TOWN PRIOR TO WORKING ON ANY WATER, SEWER, OR DRAINAGE PIPES THAT ARE IN A TOWN STREET OR RIGHT OF WAY, OR THAT WILL CONNECT OR MAY BE CONNECTED TO A TOWN WATER, SEWER, OR DRAINAGE SYSTEM. A LICENSED SUPERVISOR OR FOREMAN MUST BE PRESENT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION OF THESE UTILITIES.
19. NOT USED.
20. THE DEVELOPER SHALL COORDINATE WITH THE ELECTRIC COMPANY TO CONFIRM A DROP POLE ON THE PROPERTY IS NOT REQUIRED.
21. CONTRACTOR TO COORDINATE TRAFFIC CONTROL WITH THE TOWN PRIOR TO ANY WORK WITHIN BRENTWOOD ROAD TO COORDINATE BYPASS PUMPING OF THE SEWER DURING INSTALLATION OF THE NEW MANHOLE.



STONE DRIP EDGE SECTION

PROFILE SCALES:
HORIZONTAL: 1"=30' VERTICAL: 1"=3'



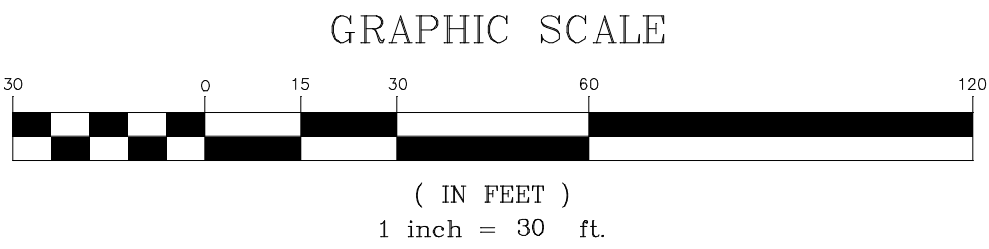
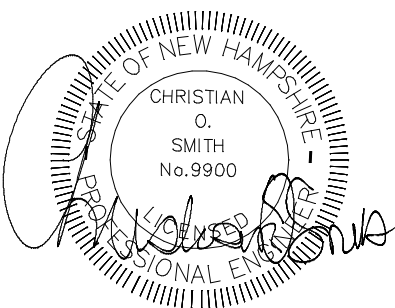
PREPARED FOR:
STONEARCH DEVEL. CORP.
3 QUILL LN, SUITE 107
BARRINGTON, NH 03825



70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860



POLE MOUNT
(S4)



REVISED PER REVIEW COMMENTS	09/17/26
REVISIONS:	DATE:

LIGHTING PLAN

RESIDENTIAL DEVELOPMENT
5 BRENTWOOD ROAD
EXETER, NH
TAX MAP 62, LOT 111

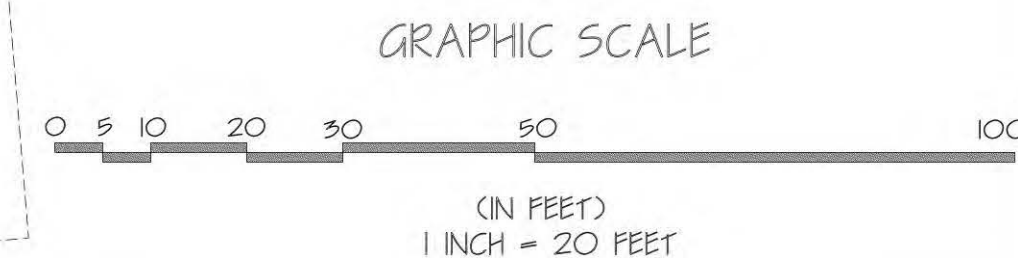
DATE:	AUG 13, 2026	SCALE:	1" = 30'
PROJ. NO:	NH-1585	SHEET NO.	7

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTIRE AREA	Illuminance	Fc	0.02	1.7	0.0	N.A.	N.A.

Luminaire Schedule					Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
Symbol	Qty	Label	Arrangement	Description					
	1	S4-HSS	Single	COOPER: GAIN-SB1A-730-U-SLR-AMA-CXX-HSS // 4' MAST ARM: P200S040	MTD 18' AFG ON EXISTING UTILITY POLE	0.900	3425	30.9	30.9



ALL PLANTING SHALL CONFORM TO THE TOWN OF EXETER, NEW HAMPSHIRE'S SITE PLAN REVIEW REGULATIONS PLANTING REQUIREMENTS.



REVISED PER REVIEW COMMENTS	06/13/26
REVISIONS:	DATE:

PLANTING PLAN

RESIDENTIAL DEVELOPMENT
5 BRENTWOOD ROAD
EXETER, NH
TAX MAP 62, LOT 111

DATE: MAY 2026	SCALE: 1" = 20'
PROJ. NO: NH-1585	SHEET NO. 8A

Qty	Botanical Name	Common Name	Size/Condition
Trees			
5	Juniperus virginiana 'Hillspire'	HILLSPIRE EASTERN RED CEDAR	5-6' B&B
2	Liquidambar styraciflua	AMERICAN SWEETGUM	3" Caliper B&B
2	Malus x 'Prairiefire'	PRAIRIEFIRE CRABAPPLE	25" Caliper B&B
Shrubs			
2	Buxus 'Green Gem'	GREEN GEM BOXWOOD	5 Gallon
10	Cephalanthus occidentalis	BUTTONBUSH	5 Gallon
2	Chamaecyparis pisifera 'Mop'	MOP GOLD THREAD CYPRESS	5 Gallon
11	Cornus stolonifera 'Arctic Fire'	ARCTIC FIRE RED OSIER DOGWOOD	5 Gallon
1	Hydrangea paniculata 'Little Lime'	LITTLE LIME HYDRANGEA	5 Gallon
27	Ilex glabra	GALLBERRY HOLLY	5 Gallon
2	Itea virginica 'Henry's Garnet'	HENRY'S GARNET SWEETSPIRE	3 Gallon
18	Juniperus communis	COMMON JUNIPER	3 Gallon
1	Physocarpus opulifolius 'Seward'	SUMMER WINE NINEBARK	5 Gallon
14	Vaccinium corymbosum	HIGHBUSH BLUEBERRY	5 Gallon
18	Viburnum dentatum 'Autumn Jazz'	AUTUMN JAZZ VIBURNUM	5 Gallon
2	Weigela florida 'Alexandra'	WINE & ROSES WEIGELA	5 Gallon
Perennials			
2	Aster novae-angliae 'Purple Dome'	PURPLE DOME NE ASTER	1 Gallon
2	Geranium sanguineum 'New Hampshire Purple'	NH PURPLE CRANESBILL	1 Gallon
3	Liatris spicata 'Kobold'	KOBOLD BLAZING STAR	1 Gallon
1	Nepeta x faassenii 'Blue Wonder'	BLUE WONDER CATMINT	1 Gallon
1	Sedum spectabile 'Brilliant'	BRILLIANT SEDUM	1 Gallon

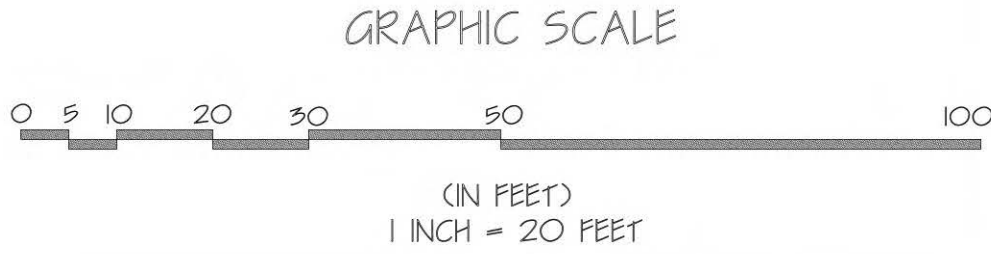
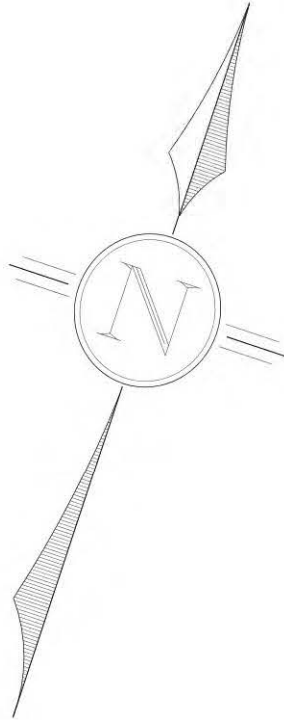
NOTE: PLANT CONTAINER SIZE MAY VARY BASED ON AVAILABILITY.



PREPARED FOR:
STONEARCH DEVELOPMENT CORP.
3 QUILL LN, SUITE 107
BARRINGTON, NH 03825



11 South Road
Brentwood, NH 03833
LMLandDesign.com

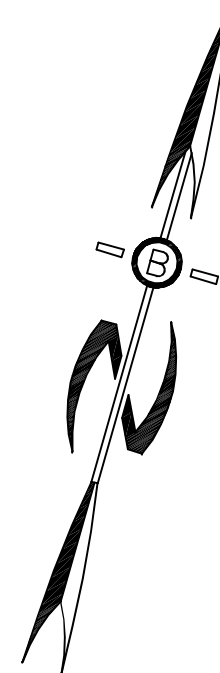


REVISED PER REVIEW COMMENTS	06/13/26
REVISIONS:	DATE:
PLANTING PLAN	
RESIDENTIAL DEVELOPMENT 5 BRENTWOOD ROAD EXETER, NH TAX MAP 62, LOT 111	
DATE: MAY 2026	SCALE: 1" = 20'
PROJ. NO: NH-1585	SHEET NO. 8B

PREPARED FOR:
STONEARCH DEVEL. CORP.
3 QUILL LN, SUITE 107
BARRINGTON, NH 03825



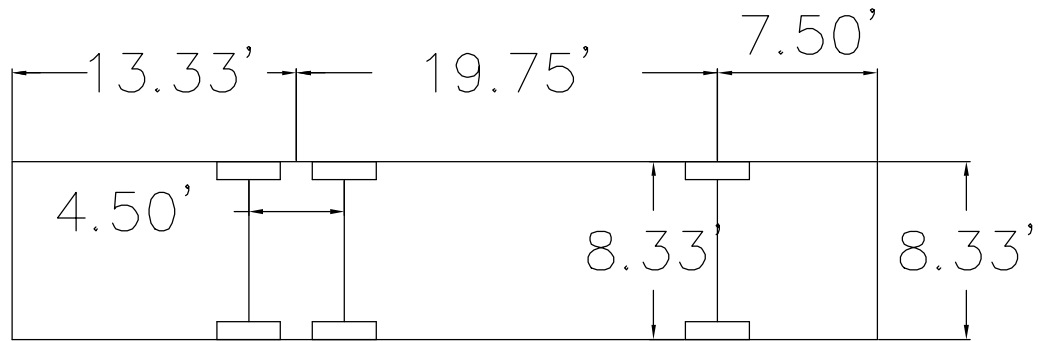
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860



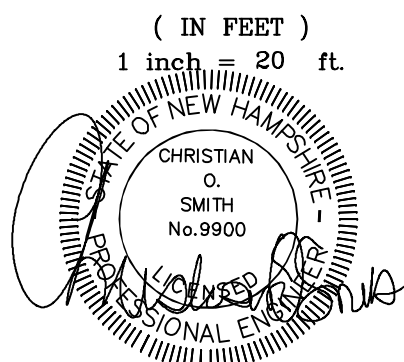
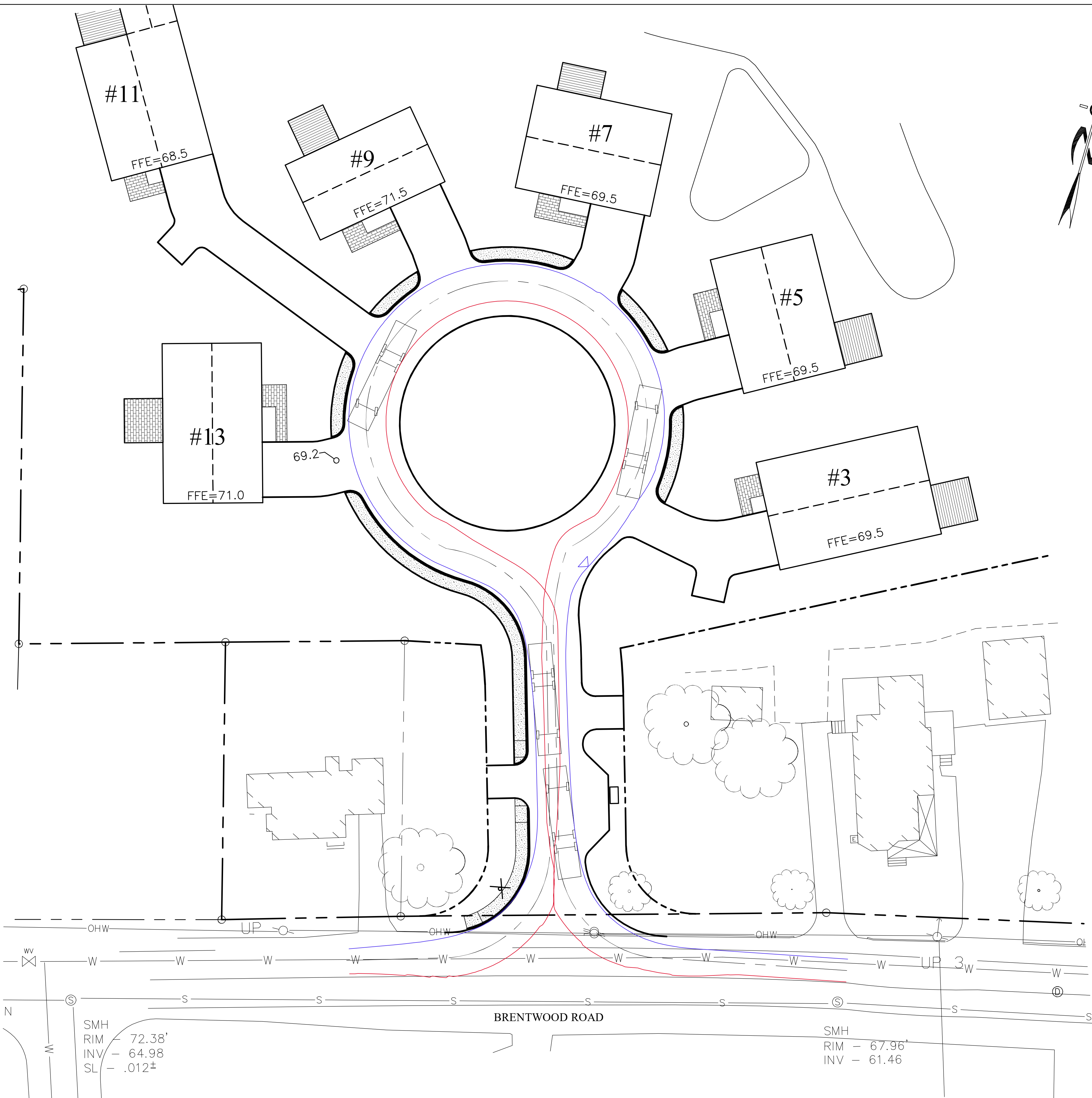
LEGEND

- VEHICLE CENTERLINE
- LEFT OVERHANG - FORWARD
- RIGHT OVERHANG - FORWARD

EXETER LADDER



Tire Diameter: FEET
3



REVISED PER REVIEW COMMENTS	09/17/26
REVISIONS:	DATE:

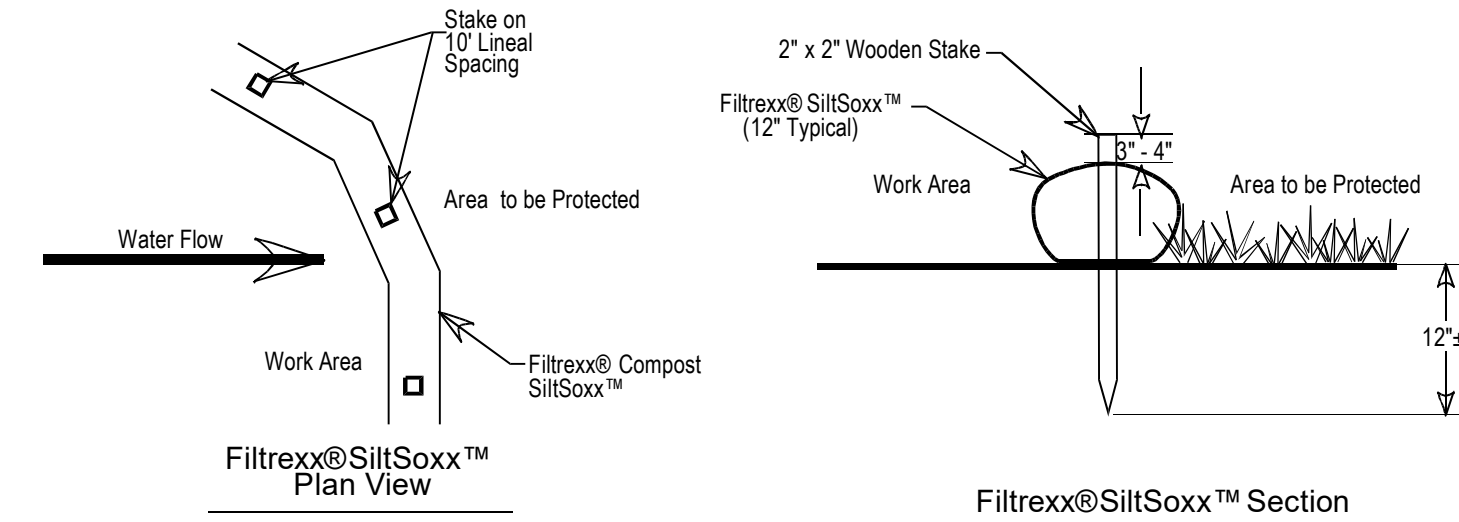
EXETER LADDER TRUCK TURNING PLAN

RESIDENTIAL DEVELOPMENT
5 BRENTWOOD ROAD
EXETER, NH
TAX MAP 62, LOT 111

DATE:	AUG 13, 2026	SCALE:	1" = 20'
PROJ. NO:	NH-1585	SHEET NO.	9

CONSTRUCTION SEQUENCE

1. CUT AND REMOVE TREES IN CONSTRUCTION AREAS AS REQUIRED OR DIRECTED.
2. CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS REQUIRED. EROSION, SEDIMENT AND DETENTION CONTROL FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO ANY EARTH MOVING OPERATION AND PRIOR TO DIRECTING RUNOFF TO THEM.
3. CLEAR CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. STUMPS AND DEBRIS ARE TO BE REMOVED FROM SITE AND DISPOSED OF PER STATE AND LOCAL REGULATIONS.
4. EXCAVATE AND STOCKPILE TOPSOIL /LOAM. ALL AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
5. CONSTRUCT TEMPORARY CULVERTS AS REQUIRED OR DIRECTED.
6. CONSTRUCT THE ROADWAY AND ITS ASSOCIATED DRAINAGE STRUCTURES.
7. INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. ALL DISTURBED AREAS SHALL STABILIZED IMMEDIATELY AFTER GRADING.
8. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDED OR MULCHED AS REQUIRED, OR DIRECTED.
9. DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE CHECK DAMS, DITCHES, SEDIMENT TRAPS, ETC. TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ABUTTING WATERS OR PROPERTY.
10. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING
12. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
13. ALL SWALES AND DRAINAGE STRUCTURES WILL BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUNOFF DIRECTED TO THEM.
14. FINISH PAVING ALL DRIVEWAYS



Notes:

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. SILTSoxx™ COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
3. SILTSoxx™ DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER ENGINEER.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

CONSTRUCTION:

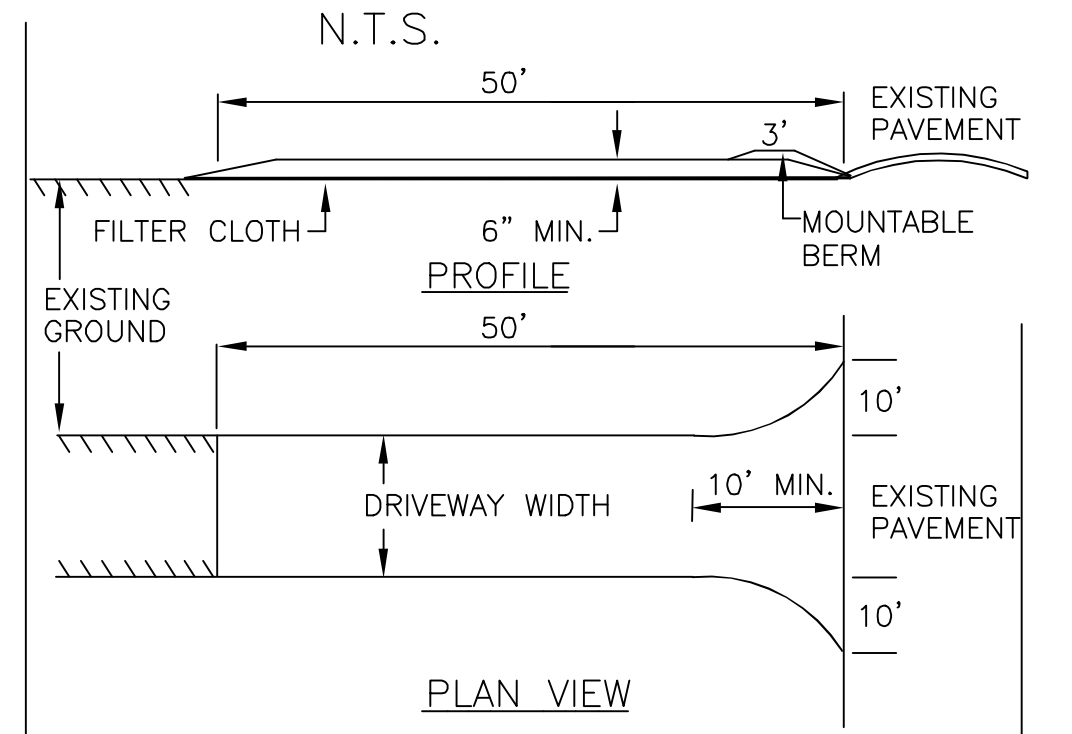
1. FILTREXX SILTSoxx WILL BE PLACED AT LOCATIONS INDICATED ON PLANS AS DIRECTED BY THE ENGINEER. SILTSoxx SHOULD BE INSTALLED PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA, PERPENDICULAR TO SHEET FLOW. IN EXTREME CONDITIONS (I.E., 2:1 SLOPES), OR WHEN SHEET FLOW FLOWS TO THE AREA FROM A PARCEL ABOVE THE WORK ZONE, A SECOND SOCK SHALL BE CONSTRUCTED AT THE TOP OF THE SLOPE IN ORDER TO DISSIPATE FLOWS. (SEE SOCK SIZE INDICATIONS IN THE DRAINAGE CHART ATTACHED)
2. IF THE SILTSoxx IS TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, IT MAY BE SEEDED AT TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION. THE ENGINEER SHALL SPECIFY SEED REQUIREMENTS.
3. FILTREXX SILTSoxx MAY BE USED IN DIRECT FLOW SITUATIONS WITHIN RUNOFF CHANNELS NOT EXCEEDING 3 FEET IN DEPTH. NORMALLY, 18" OR 24" SILTSoxx SHOULD BE USED. BE SURE TO FOLLOW STAKING DETAILS AS IDENTIFIED IN THE DETAILS BELOW.

MAINTENANCE:

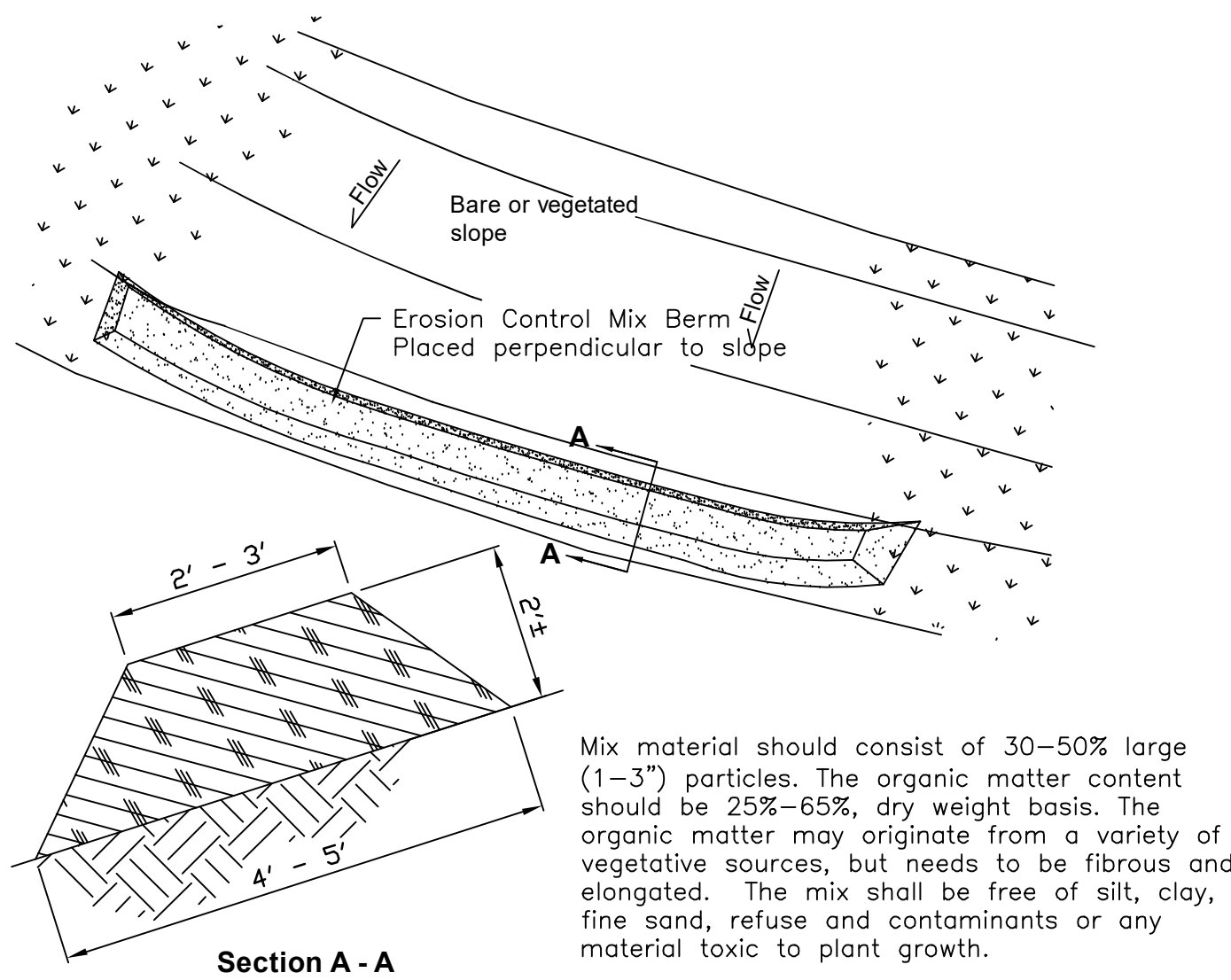
1. THE CONTRACTOR SHALL MAINTAIN THE SILTSoxx IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
2. WHERE THE SOxx REQUIRES REPAIR, IT WILL BE ROUTINELY REPAIRED.
3. THE CONTRACTOR SHALL REMOVE SEDIMENT COLLECTED AT THE BASE OF THE SOxx WHEN THEY REACH 1/2 OF THE EXPOSED HEIGHT OF THE SOxx, OR AS DIRECTED BY THE ENGINEER. ALTERNATIVELY, RATHER THAN CREATE A SOIL DISTURBING ACTIVITY, THE ENGINEER MAY CALL FOR ADDITIONAL SOxx TO BE ADDED AT AREAS OF HIGH SEDIMENTATION, PLACED IMMEDIATELY ON TOP OF THE EXISTING SEDIMENT LADEN SILTSoxx.
4. THE SILTSoxx WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

Filtrex®/SiltSoxx™ Details

STABILIZED CONSTRUCTION ENTRANCE



1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET,
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.



Erosion Control Mix Berm

SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
 - A. SLOPES SHALL NOT BE STEEPER THAN 2:1;3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. SEEDBED PREPARATION
 - A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. ESTABLISHING A STAND
 - A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS PER 1,000 SQ. FT.
NITROGEN(N), 50 LBS PER ACRE OR 1. 1 LBS PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS PER ACRE OR 2. 2 LBS PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS PER ACRE OR 2. 2 LBS PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS PER ACRE OF 5-10-10.)

SEEDING RATES

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR		
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/2	50	1.15
KENTUCKY BLUEGRASS 1/2	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

TEMPORARY EROSION CONTROL MEASURES

1. NO MORE THAN 0.26 ACRES OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED OR DIRECTED BY THE ENGINEER ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS.
3. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN 1.10 POUNDS OF SEED PER 1000 SQUARE FEET OF AREA. (48 POUNDS PER ACRE) SEE SEED SPECIFICATIONS THIS SHEET.
4. SILT FENCES AND OTHER EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN EVENT GREATER THAN 0.5" DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
6. AREAS MUST BE SEEDED AND MULCHED WITHIN 3 DAYS OF FINAL GRADING, PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL.

WINTER MAINTENANCE

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR® CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3. PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

SEEDING GUIDE

USE	SEEDING MIXTURE*	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	FAIR	GOOD	EXCELLENT
	E	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	GOOD	EXCELLENT	EXCELLENT	FAIR
	E	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	FAIR	GOOD	GOOD	EXCELLENT
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	F	FAIR	EXCELLENT	EXCELLENT	**
	G	FAIR	EXCELLENT	EXCELLENT	
GRAVEL PIT, SEE NH-PW-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
* REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.					
** POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAY AREAS OR ATHLETIC FIELDS.					

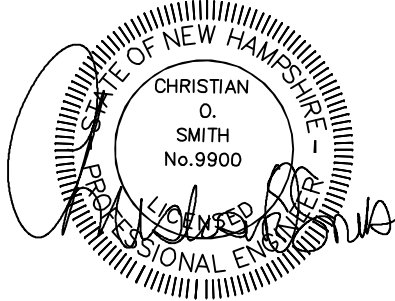
NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCT. 15, IF PERMANENT SEEDING NOT YET COMPLETE.

PREPARED FOR:

STONEARCH DEVEL. CORP.
3 QUILL LN, SUITE 107
BARRINGTON, NH 03825



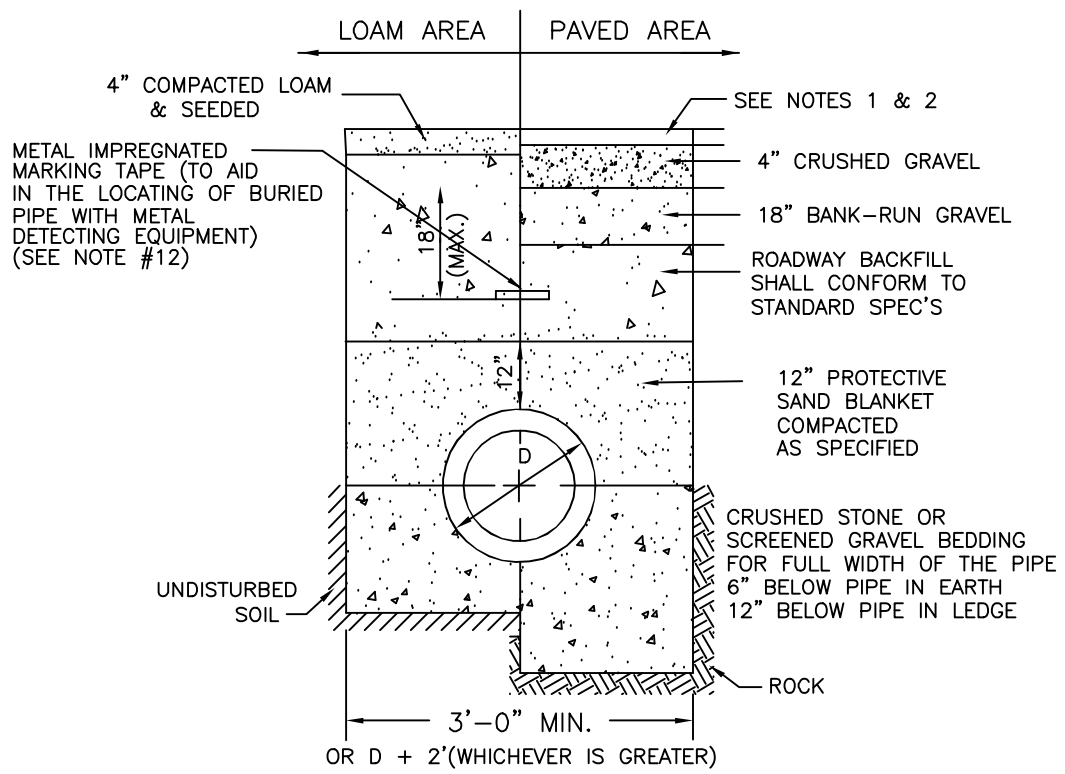
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860



EROSION & SEDIMENT CONTROL DETAILS

RESIDENTIAL DEVELOPMENT
5 BRENTWOOD ROAD
EXETER, NH
TAX MAP 62, LOT 111

DATE:	MAY, 2026	SCALE:	NTS
PROJ. NO:	NH-1585	SHEET NO.	10

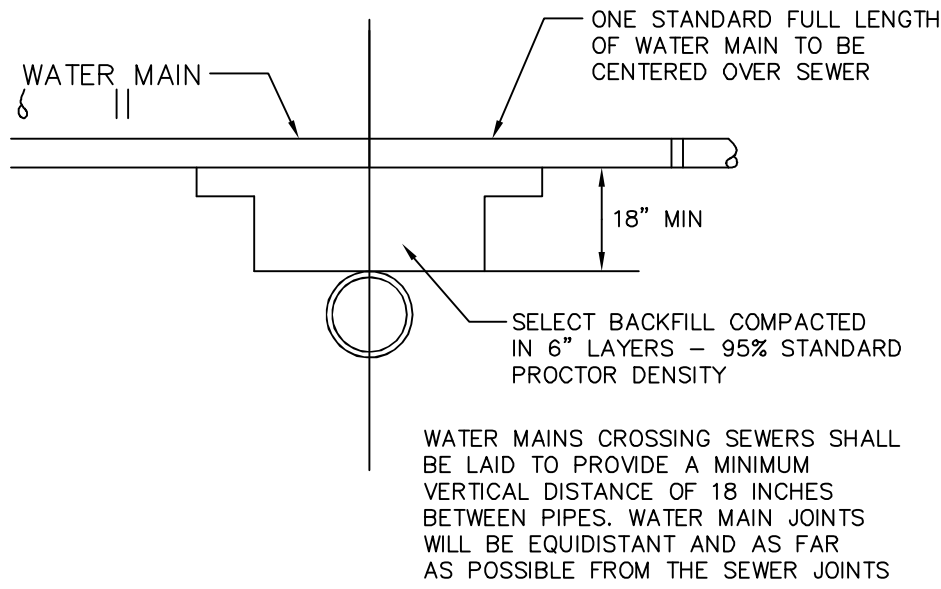


- NOTES:
- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 - NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.
 - SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS.

TYPICAL SEWER TRENCH DETAIL
NOT TO SCALE

SEPARATION NOTES:

SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES (480 MM) BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.



WATER/SEWER MAIN CROSSING

SEWER PIPE TESTING REQUIREMENTS (ENV-WQ 704.06):

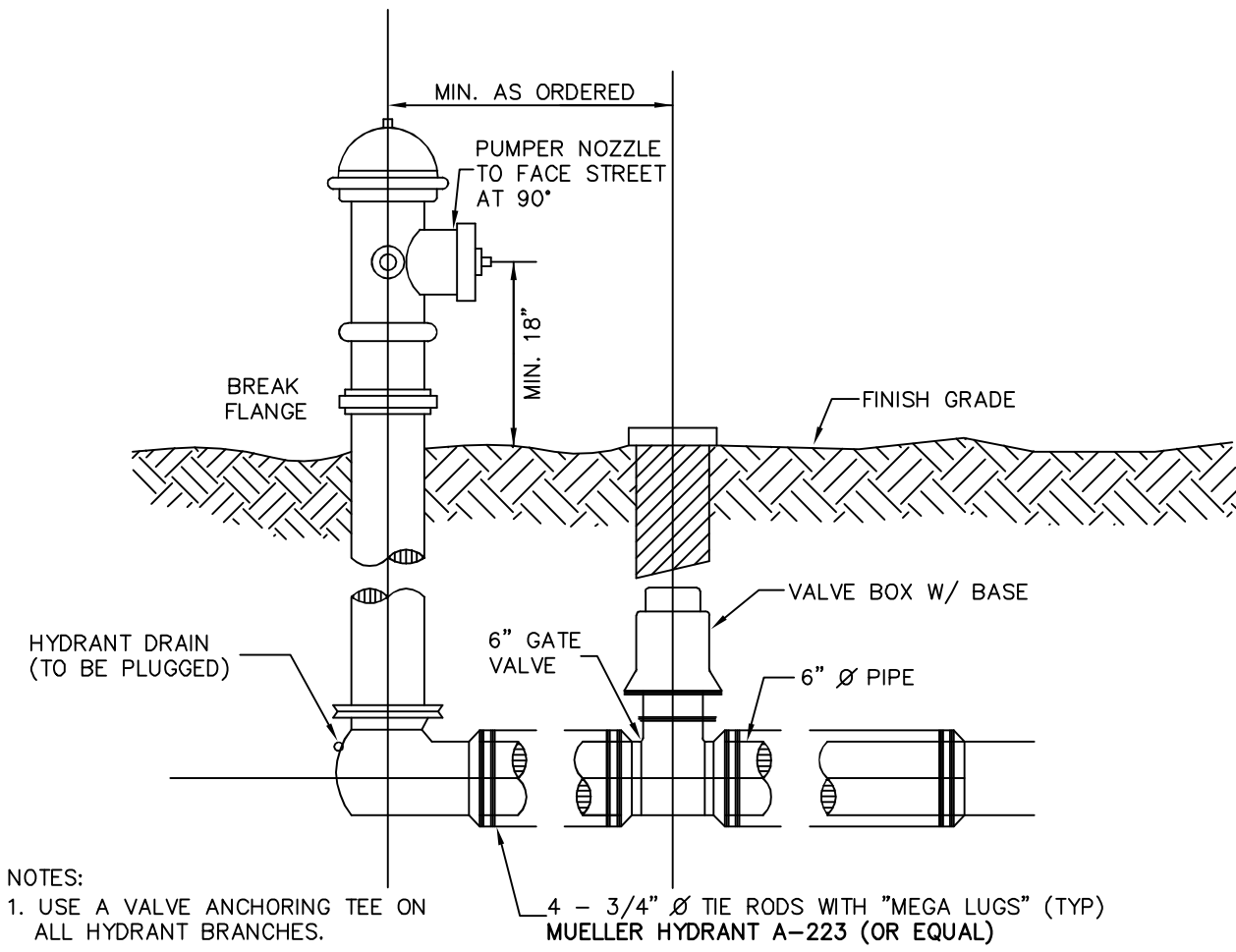
- ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.
- LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH THE FOLLOWING TESTING STANDARDS IN EFFECT AT THE TIME THE TEST IS CONDUCTED:
 - ASTM F1417 "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR", AVAILABLE AS NOTED IN APPENDIX D; OR
 - UNI-BELL PVC PIPE ASSOCIATION UNI-B-6, "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE", AVAILABLE AS NOTED IN APPENDIX D.
- ALL NEW GRAVITY SEWERS SHALL BE:
 - CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER; AND
 - TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
- ALL PLASTIC SEWER PIPE SHALL BE VISUALLY INSPECTED, AND DEFLECTION TESTED NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING INSTALLATION.
- THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% PERCENT OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDEL WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.

GRAVITY SEWER PIPE MATERIAL SPECIFICATIONS:

- PLASTIC GRAVITY SEWER PIPE AND FITTINGS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH ASTM D3034 FOR 8-INCH THROUGH 15-INCH SDR 35 PVC PIPE. PLASTIC SEWER PIPE SHALL HAVE A PIPE STIFFNESS RATING OF AT LEAST 46 POUNDS PER SQUARE INCH AT 5 PERCENT PIPE DIAMETER DEFLECTION, AS MEASURED BY THE MANUFACTURER IN ACCORDANCE WITH THE ASTM D2412 STANDARD IN EFFECT WHEN PIPE WAS MANUFACTURED. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL AND CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE ASTM D3212 STANDARD IN EFFECT WHEN THE JOINT SEALS WERE MANUFACTURED, AND SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE.

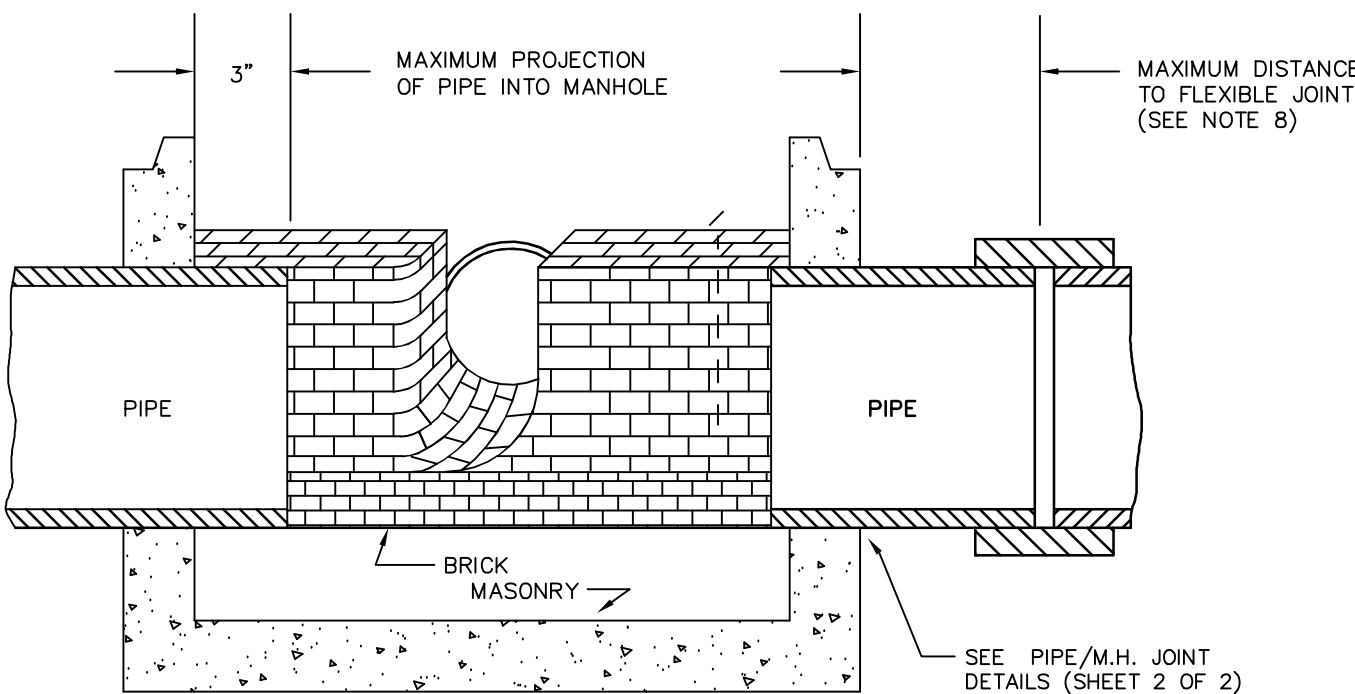
SEWER TRENCH MATERIAL SPECIFICATIONS:

- THE PIPE BEDDING MATERIAL SHALL BE SCREENED GRAVEL OR CRUSHED STONE MEETING THE ASTM C33/C33M STONE SIZE NO. 67.
- THE PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100 PERCENT PASSES A 1/2-INCH SIEVE AND A MAXIMUM OF 15 PERCENT PASSES A #200 SIEVE.



- NOTES:
- USE A VALVE ANCHORING TEE ON ALL HYDRANT BRANCHES.
 - ALL FITTINGS SHALL BE MEGALUG OR APPROVED EQUAL.
- OPEN LEFT EXETER WATER COMMISSION SPECS.
- ALL PIPE FITTINGS TO BE D.I. CLASS 350

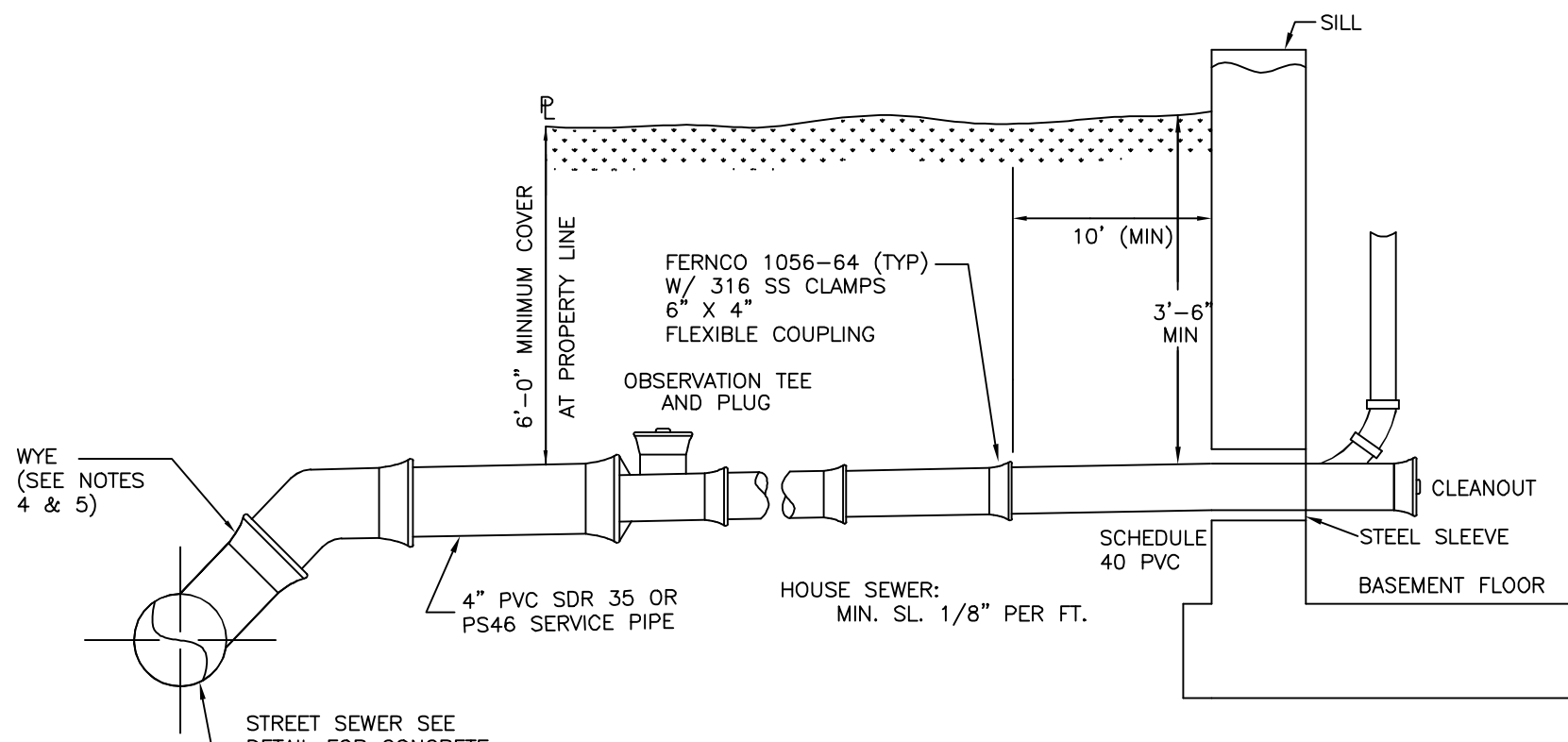
HYDRANT INSTALLATION DETAIL



SECTION A-A

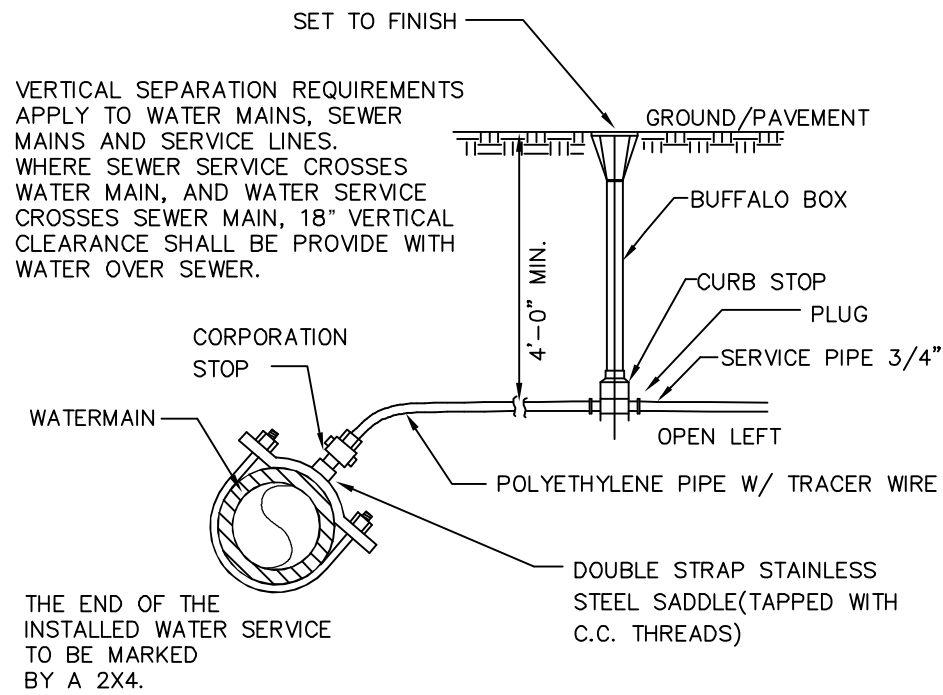
- NOTES:
- CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE.
 - INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST.
 - BRICK MASONRY FOR SHELF, INVERT, AND GRADE ADJUSTMENTS SHALL BE CERTIFIED BY ITS MANUFACTURER AS COMPLYING WITH THE ASTM C32 STANDARD IN EFFECT AT THE TIME THE BRICK IS MANUFACTURED FOR GRADE SS HARD BRICK.

BRICK SHELF DETAIL
NOT TO SCALE

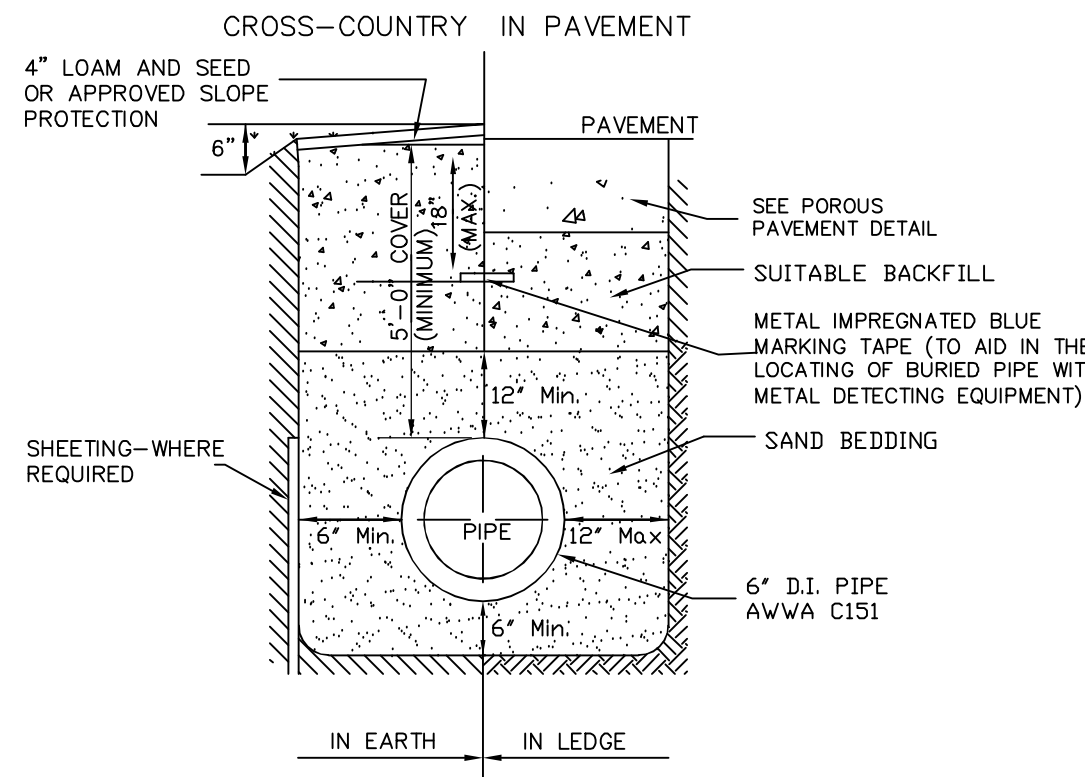


- NOTES:
- SEWER SERVICE FROM PROPERTY LINE TO 10' OUTSIDE OF BUILDING SHALL BE INSTALLED UNDER THIS CONTRACT ONLY WHEN OUTSIDE THE TRENCH DEWATERING OR LEDGE EXCAVATION IS REQUIRED.
 - PIPE DEPTH AT HOUSE SHALL BE ABOVE THE SEASONAL GROUND WATER LEVEL.
 - SEWER SHALL BE BELOW SLAB ONLY WHEN BASEMENT TOILETS EXIST.
 - JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR, AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
 - WYES: WHERE WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE FOLLOWING MANUFACTURERS INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY-CEMENTED SADDLE, TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER.

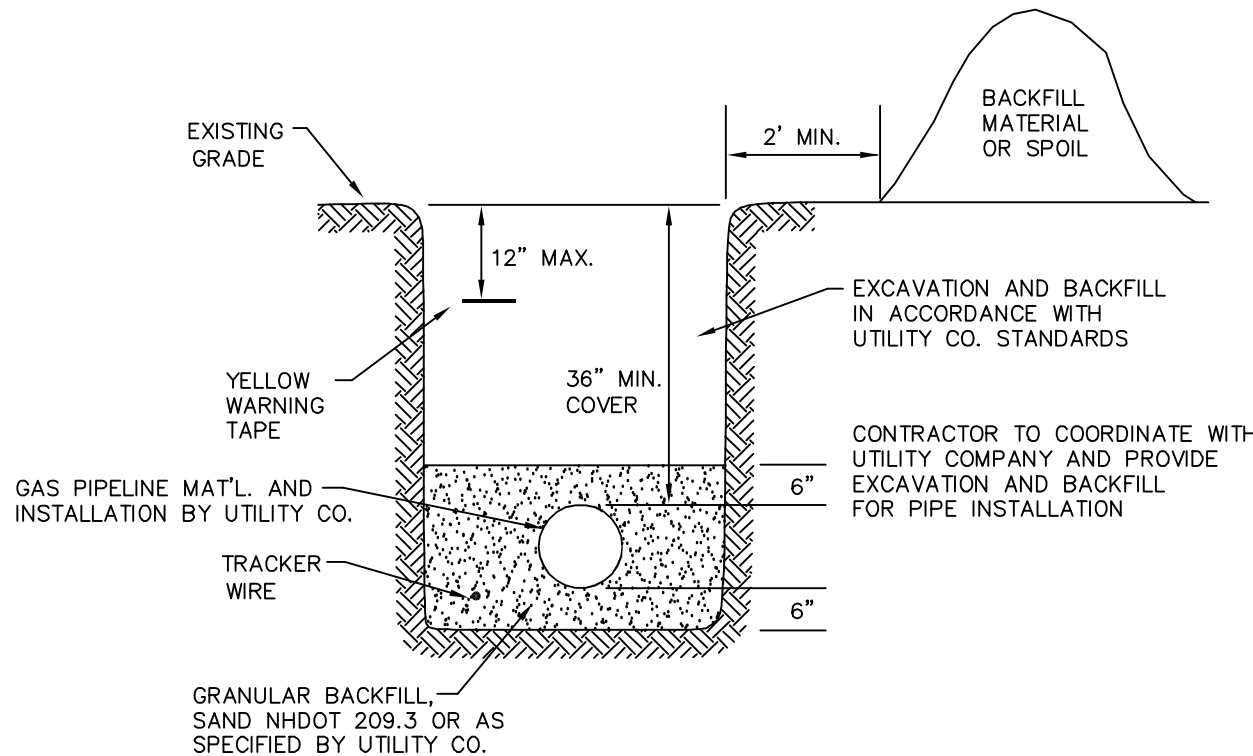
DETAIL OF HOUSE SEWER SERVICE



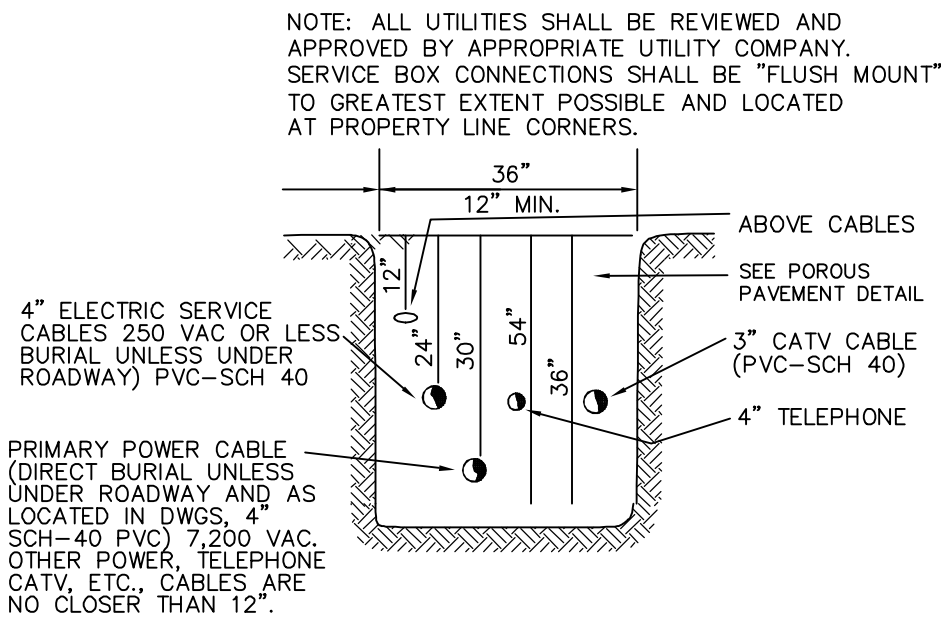
TYPICAL WATER SERVICE CONNECTION



TYPICAL TRENCH DETAIL
FOR WATER SYSTEM



GAS TRENCH DETAIL



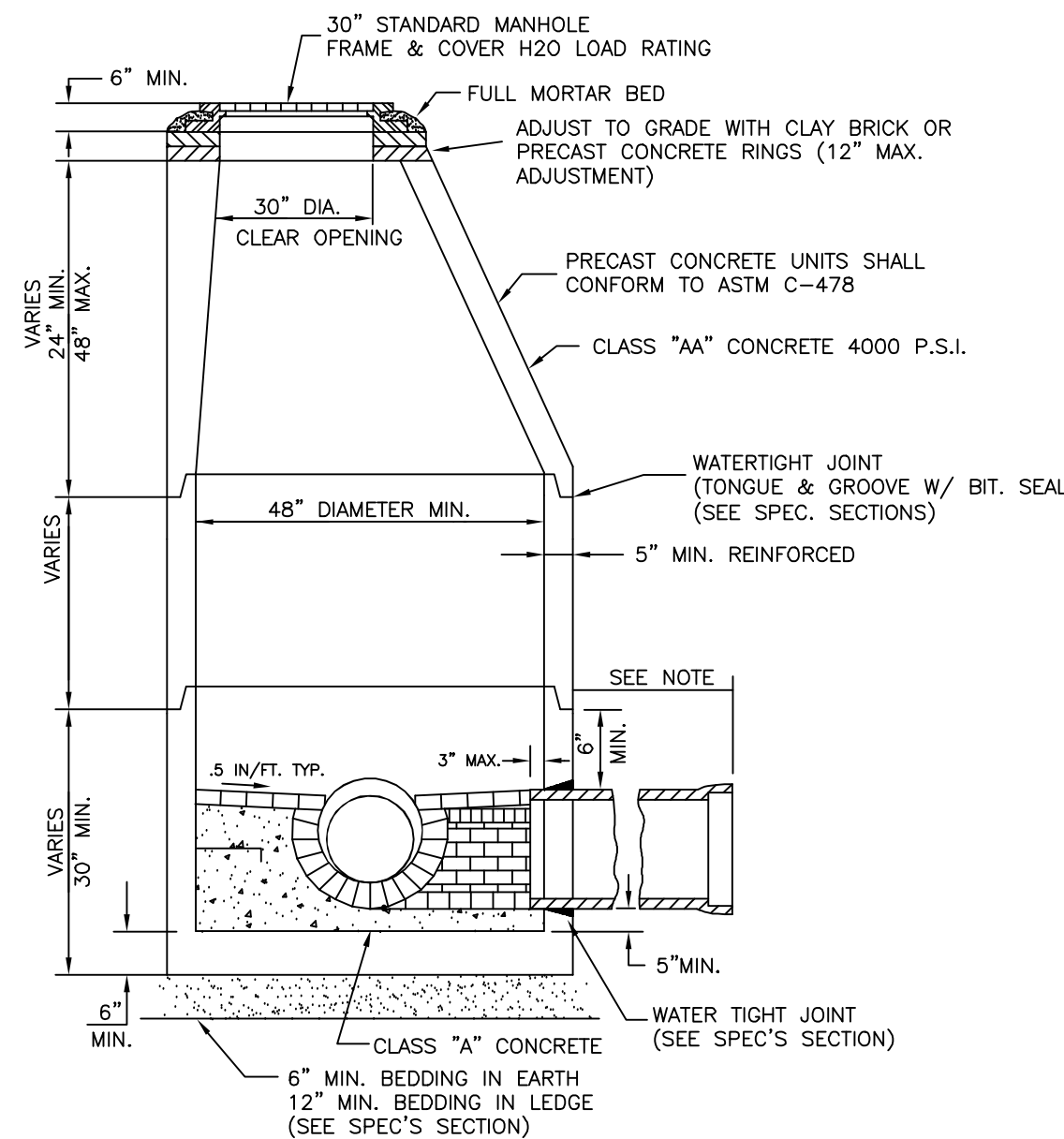
UTILITY TRENCH DETAIL

PREPARED FOR:

STONEARCH DEVEL. CORP.
3 QUILL LN, SUITE 107
BARRINGTON, NH 03825

BA
BEALS
ASSOCIATES, PLLC

70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860



NOTE:

TYPE OF PIPE	SIZE	MAX. DISTANCE TO FIRST JOINT
R.C.P. C.I.	ALL	48"
	0-12"	18"
V.C.	> 12"	36"

SEWER MANHOLE

TYPICAL SECTION
NOT TO SCALE

SEWER MANHOLE NOTES:

- BASE SECTIONS SHALL BE MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INCOMING PIPE.
- ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING PER ENV-WQ 704.12(J).
- MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVES SHALL BE PLACED AFTER TESTING OF THE MANHOLE.

SEWER MANHOLE TESTING REQUIREMENTS (ENV-WQ 704.17):

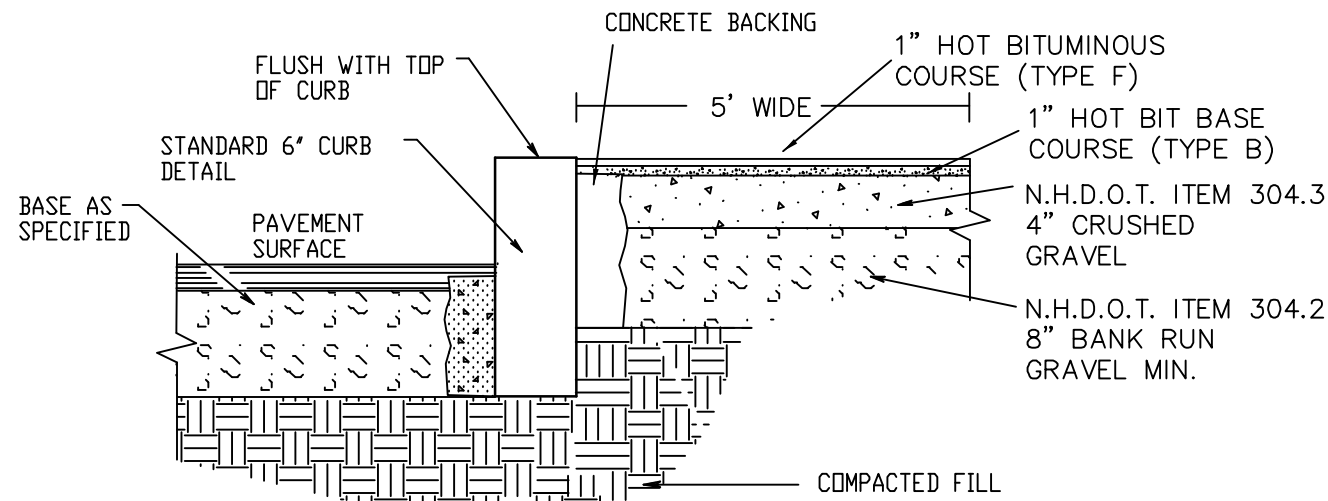
- MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST IN ACCORDANCE WITH ASTM C1244. THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
 - THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES HG; AND
 - THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR A 1-INCH HG PRESSURE DROP TO 9 INCHES HG SHALL BE:
 - NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP IN DEPTH;
 - NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP; AND
 - NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP;
- THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED.

REVISED PER REVIEW COMMENTS	08/13/26
REVISIONS:	DATE:

CONSTRUCTION DETAILS

RESIDENTIAL DEVELOPMENT
5 BRENTWOOD ROAD
EXETER, NH
TAX MAP 62, LOT 111

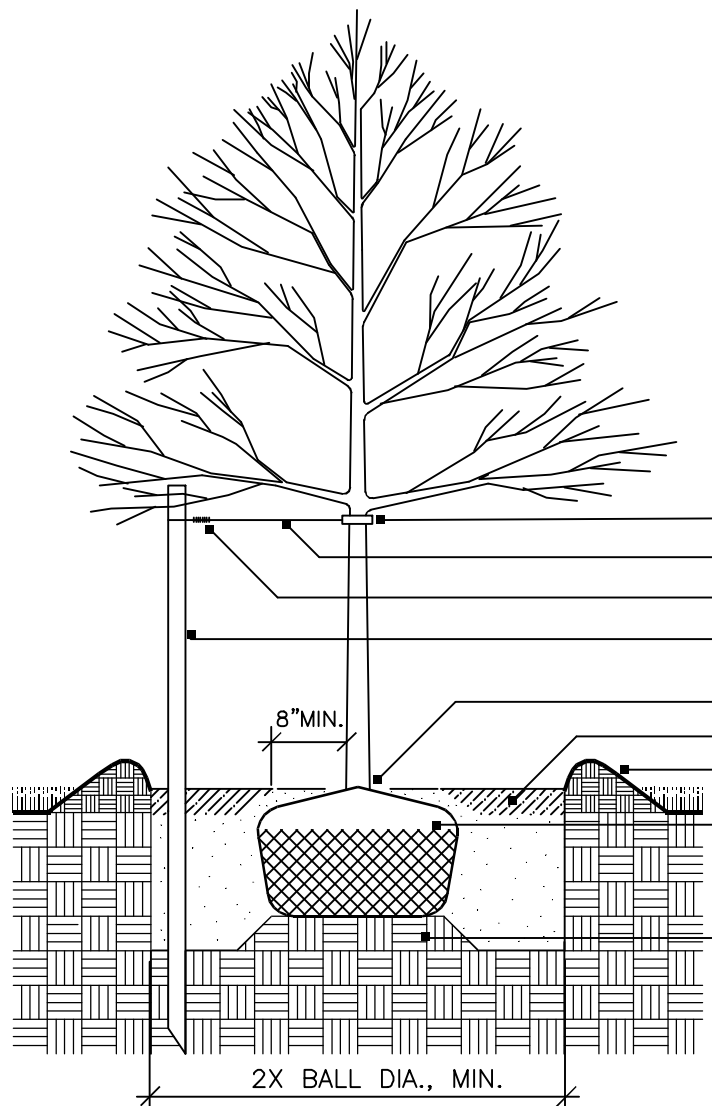
DATE:	MAY, 2026	SCALE:	NTS
PROJ. NO:	NH-1585	SHEET NO.	11



VERT. GRANITE CURB/BIT. SIDEWALK DETAIL

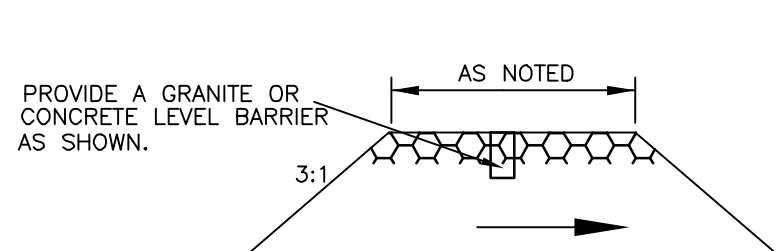
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NOTE: GRAVEL SPECIFICATIONS FOR SIDEWALK ARE THE SAME FOR THE GRAVEL ACCESS PATHS.



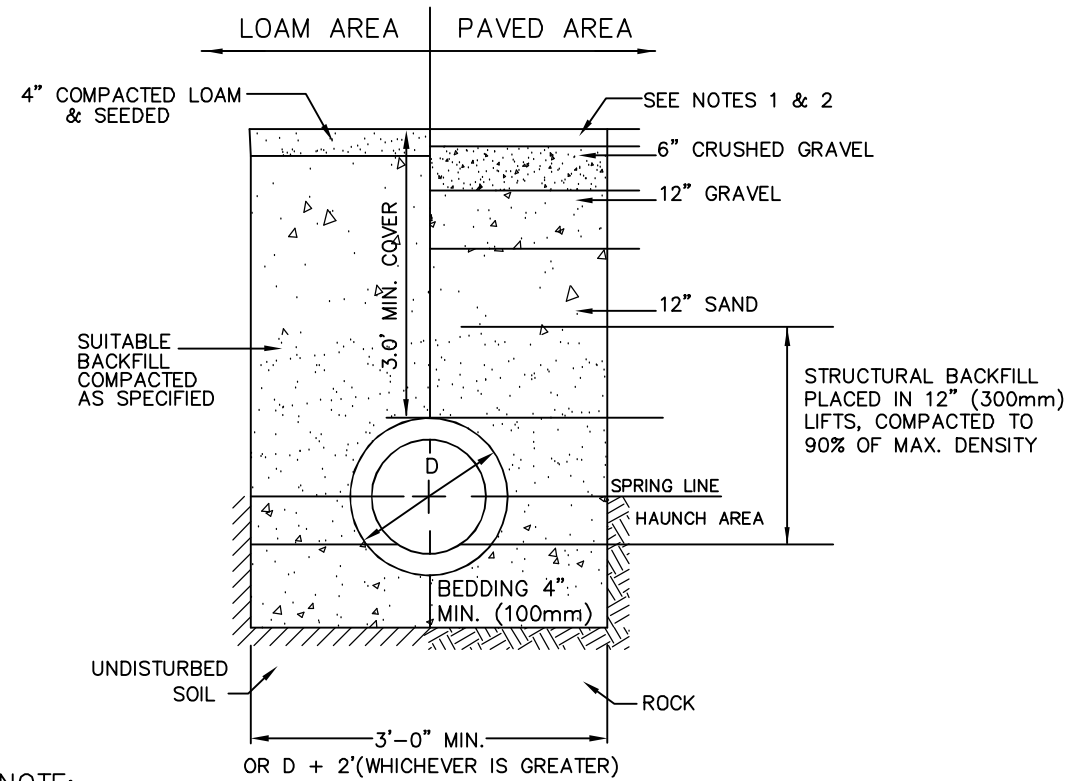
DECIDUOUS TREE PLANTING WITH STAKE AND WIRE TIE - HEAVY DUTY

NOTE: STAKING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS



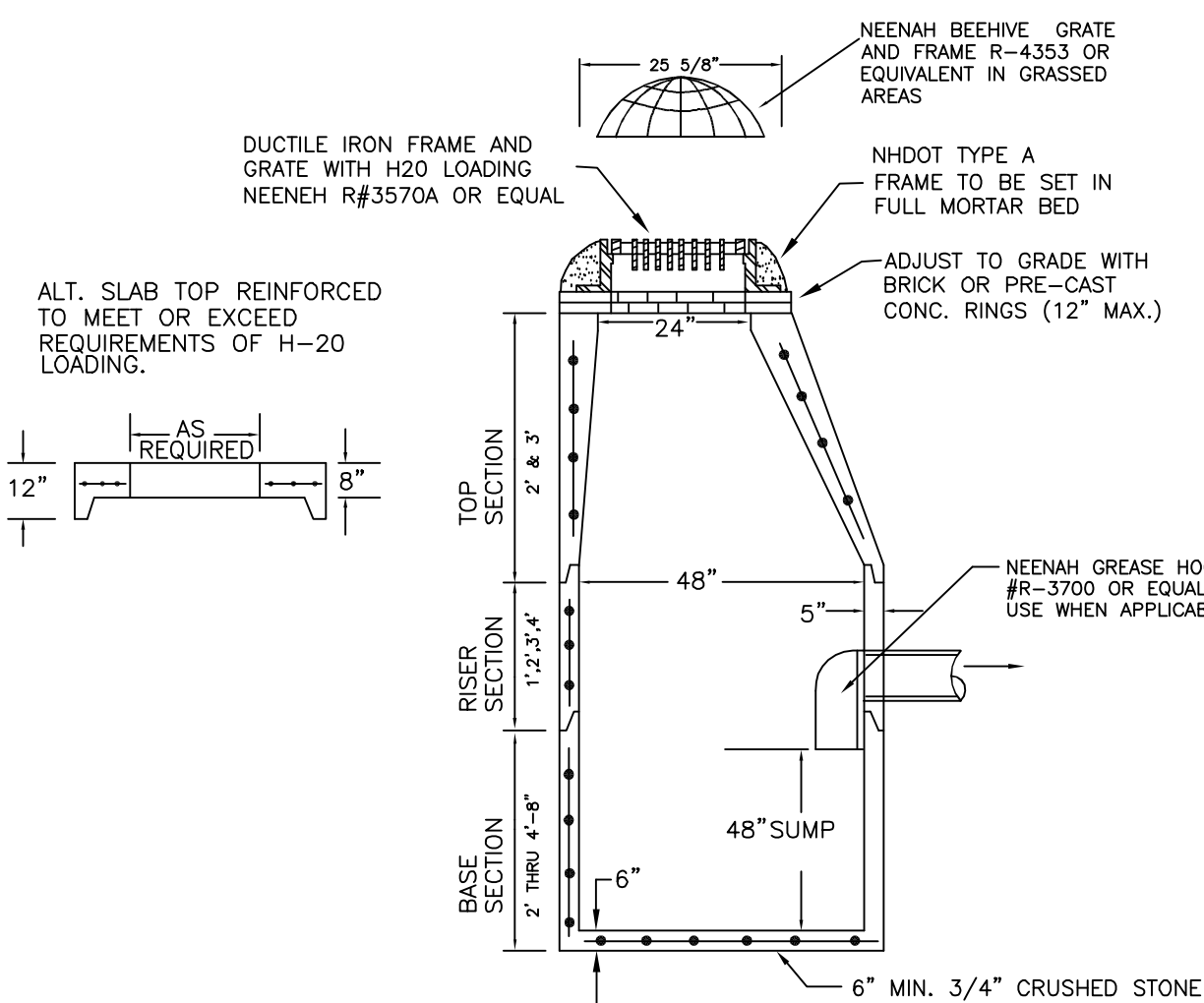
POND WEIR

NOT TO SCALE



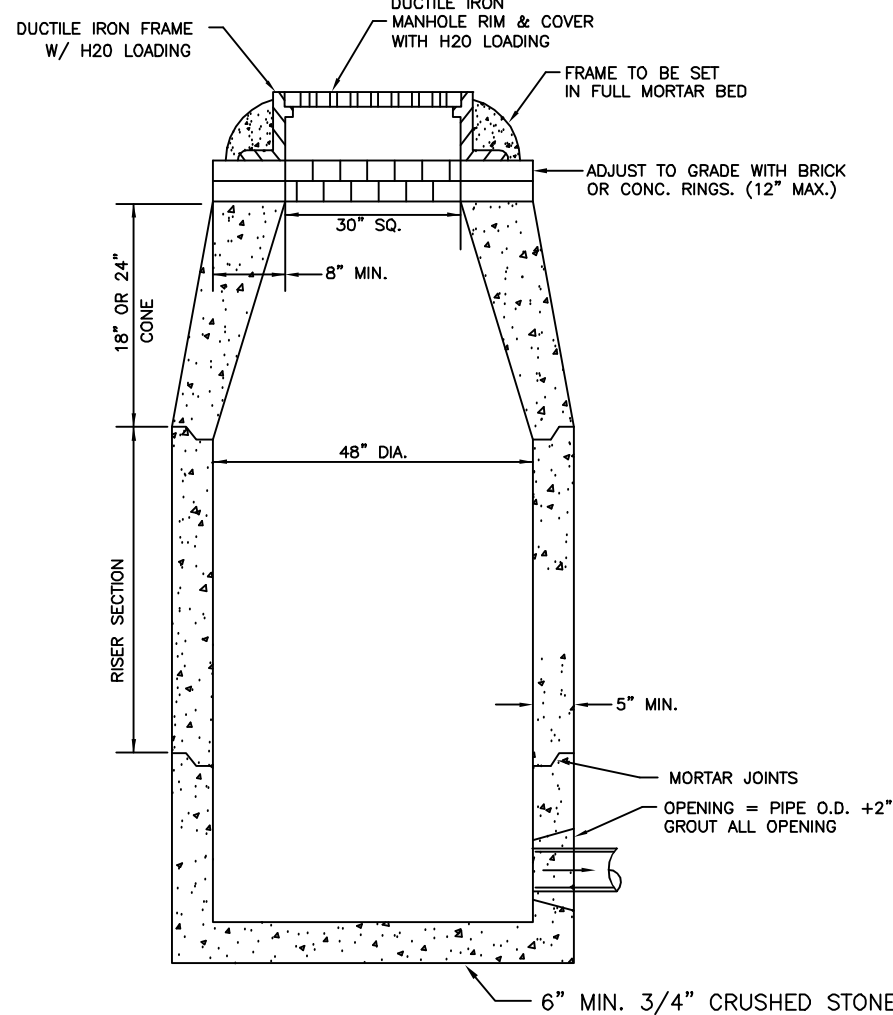
- NOTE:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.

TYPICAL DRAINAGE TRENCH DETAIL



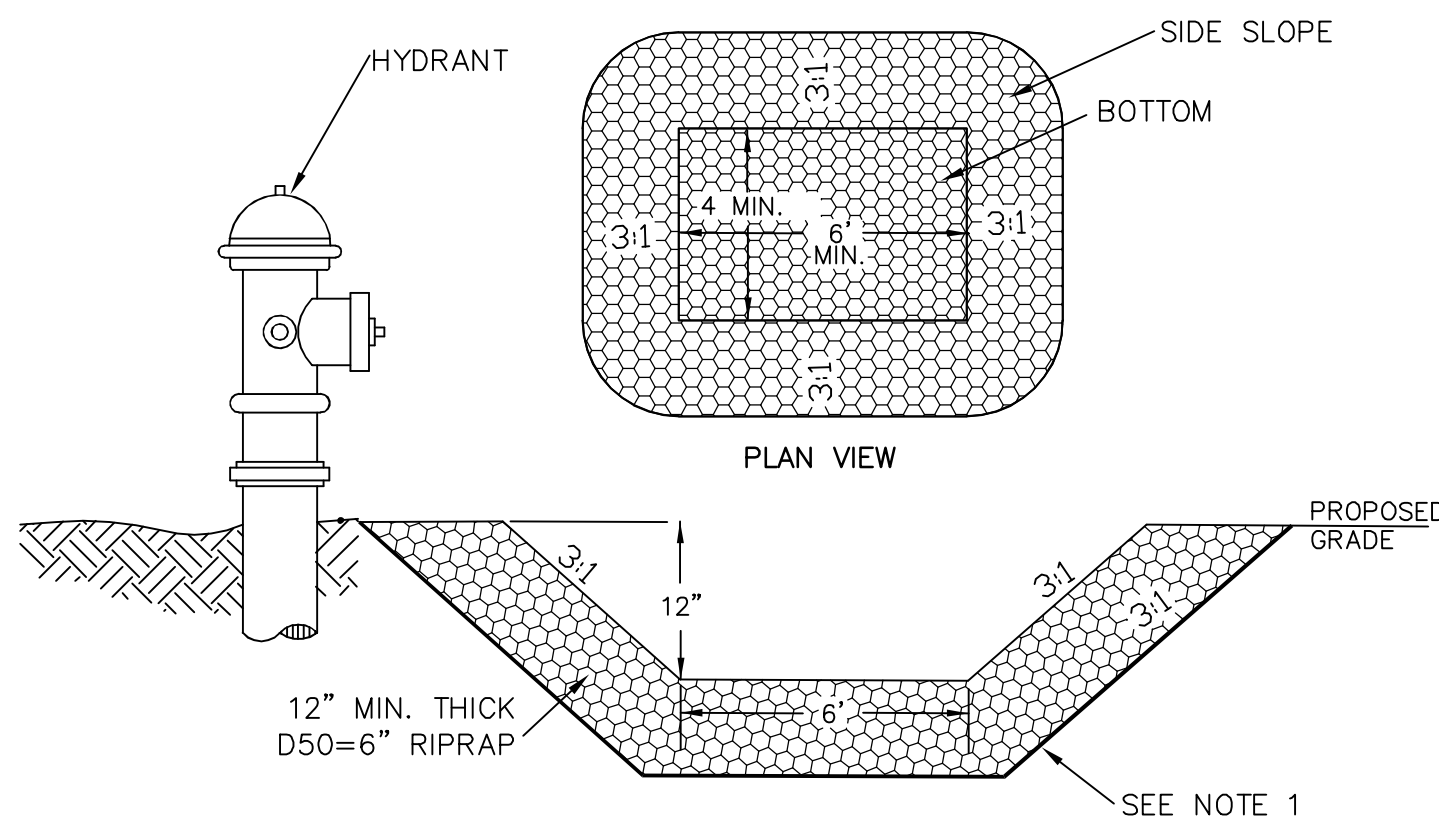
PRECAST CATCHBASIN

NOT TO SCALE



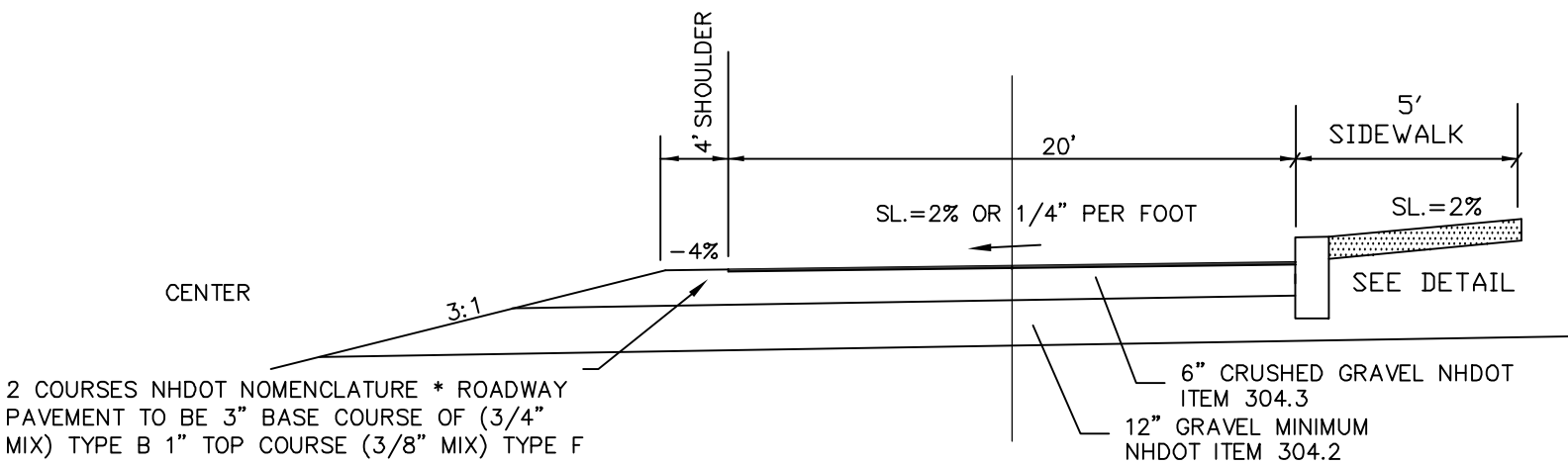
PRECAST DRAIN MANHOLE

NOT TO SCALE



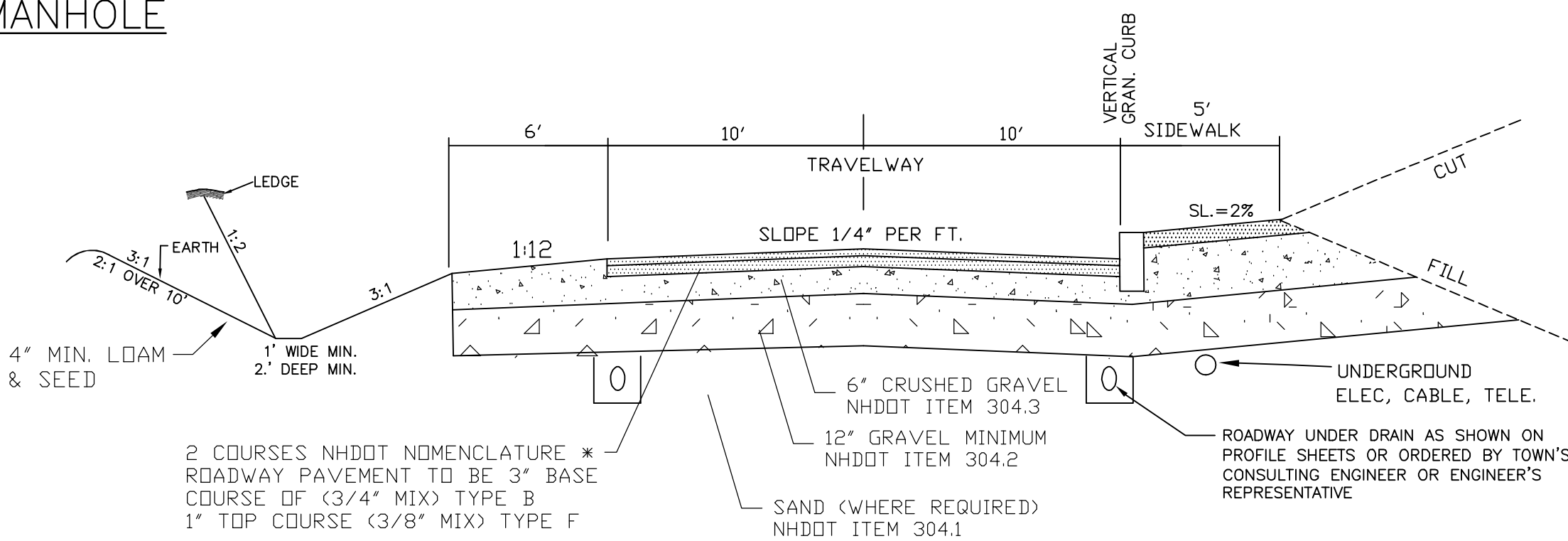
RIPRAP SUMP

NOT TO SCALE



CUL-DE-SAC CROSS SECTION

NOT TO SCALE



TYPICAL CROSS SECTION

BACKFILL MATERIAL SHALL CONSIST OF STONES, ROCK FRAGMENTS AND FINE HARD DURABLE PARTICLES FREE FROM HARMFUL AMOUNTS OF ORGANIC MATTER. THE WEAR SHALL NOT EXCEED 60 PERCENT.

2.1.1. GRANULAR BACKFILL (SAND) SHALL CONSIST PRIMARILY OF PARTICLES WITH 100% PASSING THE 3\"/>

2.1.2. GRANULAR BACKFILL (GRAVEL) SHALL CONSIST OF A MIXTURE OF STONES AND ROCK FRAGMENTS AND PARTICLES WITH 95-100% PASSING THE 3\"/>

TOWN MAY REQUIRE UNDERDRAIN OR ADDITIONAL DRAINAGE TO INCLUDE OVER EXCAVATION OF UNSUITABLE MATERIALS AND INSTALLATION OF GEOTEXTILE FABRIC. IN CONDITIONS OF UNSUITABLE MATERIAL THE ENTIRE LENGTH AND WIDTH OF R.O.W. SHALL BE EXCAVATED 4' BELOW EXISTING GRADES UNSUITABLE MATERIAL REMOVED AND REPLACED WITH SUITABLE MATERIAL.

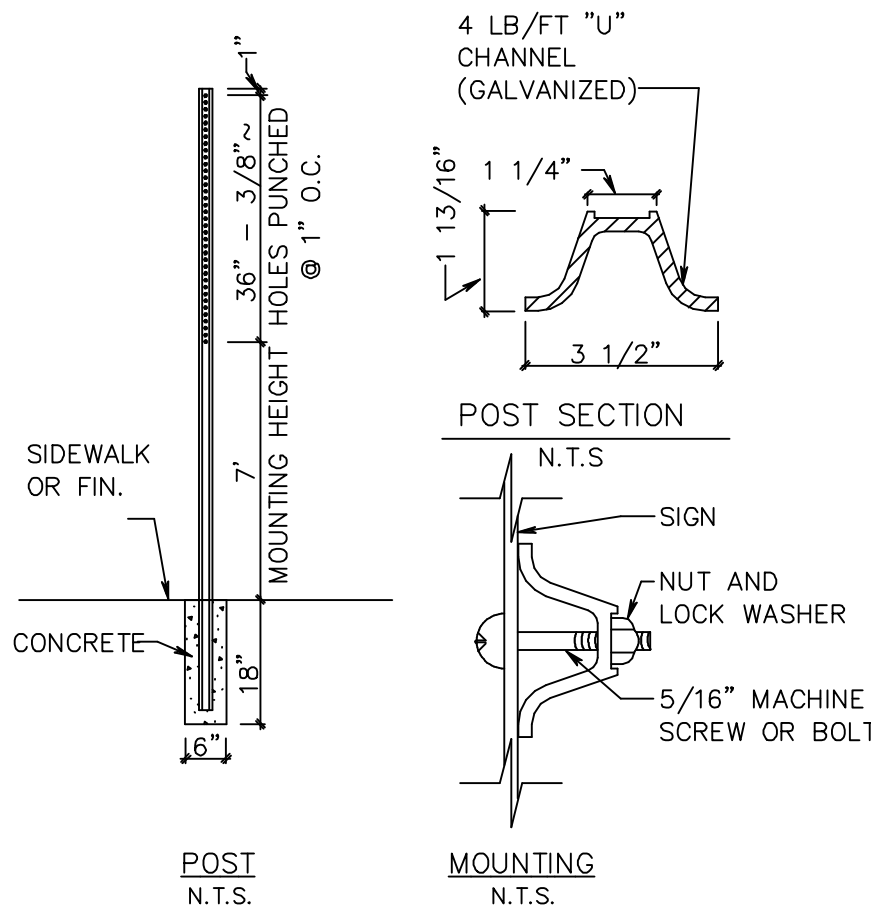
BANK RUN GRAVEL INSTALLED IN 9 INCH LIFTS, COMPACTED TO 95% COMPACTION OF THE OPTIMUM MODIFIED PROCTOR. CRUSHED GRAVEL INSTALLED IN 6 INCH LIFTS, COMPACTED TO 95% COMPACTION OF THE OPTIMUM MODIFIED PROCTOR.

PREPARED FOR:

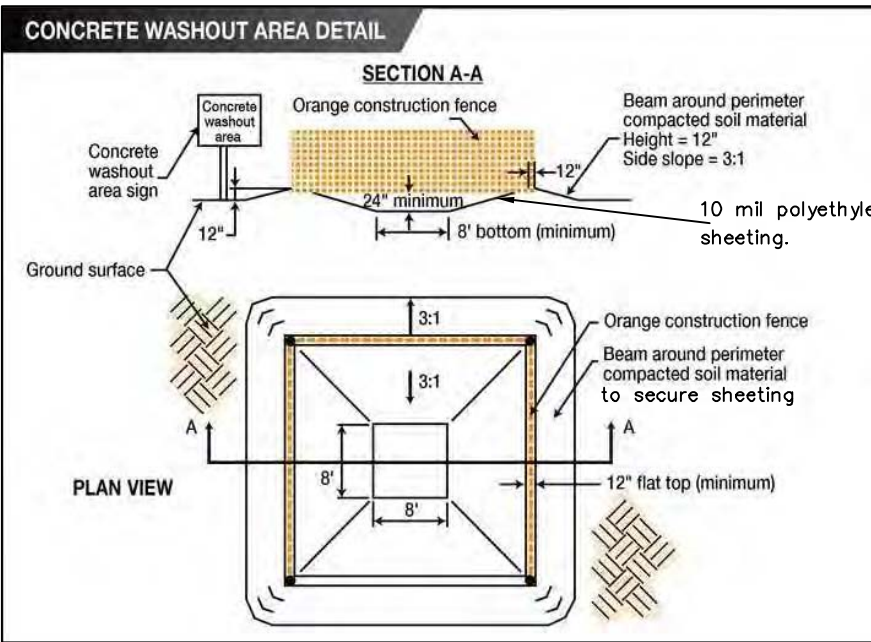
STONEARCH DEVEL. CORP.
3 QUILL LN, SUITE 107
BARRINGTON, NH 03825



70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860



STREET SIGN DETAIL



ADDED CDS CROSS SECTION	8-13-26
REVISIONS:	DATE:

CONSTRUCTION DETAILS

RESIDENTIAL DEVELOPMENT
5 BRENTWOOD ROAD
EXETER, NH
TAX MAP 62, LOT 111

DATE:	AUG 13, 2026	SCALE:	NTS
PROJ. NO:	NH-1585	SHEET NO.	12



TOWN OF EXETER

Planning and Building Department

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

Date: September 16, 2026
To: Planning Board
From: David Sharples, Town Planner
Re: PB Case #26-16 Peter A Smith Revocable Trust

The applicant is requesting approval for a minor subdivision of his property located at 121 High Street. The current lot size is 5.762 acres. Mr. Smith is looking to divide off a 0.782-acre lot. The project is located in the R-2 Zoning District and can be found on Tax Map 71 Parcel 91.

The proposal did not go to TRC for review as is customary with such an application. That said, I have reviewed the plans and offer the following comments:

- The plans need to be stamped and signed by a Licensed Land Surveyor (Sec. 6.8.2.4(n));
- The checklist regarding the location of easements has a handwritten "Known". Please explain what this means and what extent of due diligence that was performed in discovering if any easements exist;
- Note # 1 states that the lot is to be serviced by municipal water and sewer. Exeter cannot allow any additional applications to connect to our municipal water system at this time nor can it approve the Preliminary Application to Connect that was included with the application; Please revise the note and the plans to show that an adequate private water source can be provided to service the lot; and,
- In my conversations with Mr. Smith, he indicated that the existing dwelling is on septic so please show this on the plans if accurate.

I will send this memorandum to the applicant so they will be prepared to address these comments at the meeting.

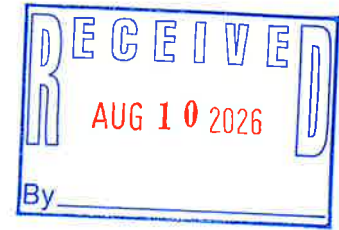
Planning Board Motions:

Subdivision Motion: I move that the request of Peter A Smith Revocable Trust (PB Case #26-16) for a Minor Subdivision for 121 High Street, Tax Map 71, Parcel 91 be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Thank You.

TOWN
(8-3-26)

Town of Exeter



Planning Board Application for

- **Minor Site Plan Review**
 - **Minor Subdivision**
- **Lot Line Adjustment**

January 2019



Town of Exeter Application for Minor Subdivision, Minor Site Plan, and/or Lot Line Adjustment

Date: January 2019

Memo To: Applicants for Minor Subdivision, Minor Site Plan, and/or Lot Line Adjustment

From: Planning Department

Re: Guidelines for Processing Applications

The goal of the Planning Board is to process applications as quickly and efficiently as possible. To this end, we have designed an application procedure which is simple and easy to follow (see attached). If some of the information being requested seems irrelevant, please check with the Planning Department office, it may be that your particular proposal does not warrant such information.

It is strongly recommended that prior to submitting an application you discuss your proposal informally with the Town Planner. The Town Planner will review your proposal for conformance with the applicable Town regulations and advise you as to the procedures for obtaining Planning Board approval. Please contact the Planning Department office at (603) 773-6112 to schedule an appointment.

The key to receiving a prompt decision from the Planning Board is to adhere closely to the Board's procedures. A chart outlining the "Planning Board Review Process" is attached for your information. Please be aware that a technical review of your proposal by the Technical Review Committee (TRC) will likely precede Planning Board determination. Staff will gladly review the Application process with you so that you understand the various milestones in the process. A checklist is attached to this application to assist you in preparing your plans.

Copies of the applicable "Site Review and Subdivision Regulations" are available on-line on the Town's web site (www.exeternh.gov) or maybe purchased at the Planning Department office on the second floor to the Town Office Building located at 10 Front Street.

It is strongly recommended that you become familiar with these regulations, as they are the basis for review and approval.



TOWN OF EXETER, NH APPLICATION FOR MINOR SITE PLAN REVIEW, MINOR SUBDIVISION and/or LOT LINE ADJUSTMENT

A completed application shall contain the following items, although please note that some items may not apply such as waivers or conditional use permit:

1. Application for Hearing (✓)
2. Abutter's List Keyed to the Tax Map (including name and business address of all professionals responsible for the submission (engineer, landscape architect, wetland scientist, etc.) (✓)
3. Checklist for plan requirements (✓)
4. Letter of Explanation (✓) NOTE #1 on PLAN
5. Written request and justification for waiver(s) from Site Plan/Sub Regulations
6. Application to Connect and/or Discharge to Town of Exeter Sewer, Water, or Storm Water Drainage System(s) - if applicable (✓)
- ~~7.~~ 7. Application Fees () PETER SMITH
8. Seven (7) copies of 24'x36' plan set (✓)
9. Fifteen (15) 11"x 17" copies of the plan set (✓)
10. Three (3) pre-printed 1"x 2 5/8" labels for each abutter, the applicant and all consultants. (✓)

NOTES: All required submittals must be presented to the Planning Department Office for distribution to other Town departments. Any material submitted directly to other departments will not be considered.



TOWN OF EXETER
MINOR SUBDIVISION, MINOR
SITE PLAN, AND/OR LOT LINE
ADJUSTMENT APPLICATION

OFFICE USE ONLY

THIS IS AN APPLICATION FOR:

- () MINOR SITE PLAN
☒ MINOR (3 lots or less) ^{NEW} SUBDIVISION () LOTS
() LOT LINE ADJUSTMENT

____ APPLICATION
____ DATE RECEIVED
____ APPLICATION FEE
____ PLAN REVIEW FEE
____ ABUTTER FEE
____ LEGAL NOTICE FEE
____ INSPECTION FEE
____ TOTAL FEES
____ AMOUNT REFUNDED

1. NAME OF LEGAL OWNER OF RECORD: PETER A. SMITH PLEASANT LIVING TRUST
PETER A. SMITH, TRUSTEE

ADDRESS: 121 HIGH STREET IN EXETER

TELEPHONE: (603) 772-2734

2. NAME OF APPLICANT: SAME AS ABOVE

ADDRESS: _____

TELEPHONE: () _____

3. RELATIONSHIP OF APPLICANT TO PROPERTY IF OTHER THAN OWNER: _____

(Written permission from Owner is required, please attach.)

4. DESCRIPTION OF PROPERTY:

ADDRESS: 121 HIGH STREET

TAX MAP: 71 PARCEL #: 91 ZONING DISTRICT: R-2*

AREA OF ENTIRE TRACT: 5.762-ACS PORTION BEING DEVELOPED: 0.782-ACS



5. EXPLANATION OF PROPOSAL: TO CREATE (1) ONE NEW LOT TO BE SERVICED BY LOCAL AVAILABLE UTILITIES.

6. ARE MUNICIPAL SERVICES AVAILABLE? (YES/NO) YES, PENDING APPROVAL
IF YES, WATER AND SEWER SUPERINTENDENT MUST GRANT WRITTEN APPROVAL FOR CONNECTION. IF NO, SEPTIC SYSTEM MUST COMPLY WITH W.S.P.C.C. REQUIREMENTS.

7. LIST ALL MAPS, PLANS AND OTHER ACCOMPANYING MATERIAL SUBMITTED WITH THIS APPLICATION:

ITEM:	NUMBER OF COPIES
A. <u>SUTSD. PLAT - AUG. 2020</u>	<u>(7) FULL - (15) REDUCED</u>
B. <u>TOPOGRAPHY PLAN - "</u>	<u>" "</u>
C. _____	_____
D. _____	_____
E. _____	_____
F. _____	_____

8. ANY DEED RESTRICTIONS AND COVENANTS THAT APPLY OR ARE CONTEMPLATED (YES/NO) NO IF YES, ATTACH COPY.

9. NAME AND PROFESSION OF PERSON DESIGNING PLAN:

NAME: PETER D. LANDRY, LLS - LANDRY SURVEYING, LLC
ADDRESS: 248 MILL BOND ROAD IN NOTTINGHAM, NH 03290
PROFESSION: LAND SURVEYOR TELEPHONE: (603) 679-1307

10. LIST ALL IMPROVEMENTS AND UTILITIES TO BE INSTALLED: WATER & SEWER, ELECTRIC CABLE, GAS & TELEPHONE



11. HAVE ANY SPECIAL EXCEPTIONS OR VARIANCES BEEN GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO THIS PROPERTY PREVIOUSLY?

(Please check with the Planning Department Office to verify) (YES/NO) NO IF YES, LIST BELOW AND NOTE ON PLAN.

NOTICE:

I CERTIFY THAT THIS APPLICATION AND THE ACCOMPANYING PLANS AND SUPPORTING INFORMATION HAVE BEEN PREPARED IN CONFORMANCE WITH ALL APPLICABLE TOWN REGULATIONS, INCLUDING BUT NOT LIMITED TO THE "SITE PLAN REVIEW AND SUBDIVISION REGULATION" AND THE ZONING ORDINANCE. FURTHERMORE, IN ACCORDANCE WITH THE REQUIREMENTS OF THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS", I AGREE TO PAY ALL COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

→ DATE 8/10/26 APPLICANT'S SIGNATURE Peter A. Smith
PETER A. SMITH

ACCORDING TO RSA 676.4.I (c), THE PLANNING BOARD MUST DETERMINE WHETHER THE APPLICATION IS COMPLETE WITHIN 30 DAYS OF SUBMISSION. THE PLANNING BOARD MUST ACT TO EITHER APPROVE, CONDITIONALLY APPROVE, OR DENY AN APPLICATION WITHIN SIXTY FIVE (65) DAYS OF ITS ACCEPTANCE BY THE BOARD AS A COMPLETE APPLICATION. A SEPARATE FORM ALLOWING AN EXTENSION OR WAIVER TO THIS REQUIREMENT MAY BE SUBMITTED BY THE APPLICANT.



ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP 71 L81 & L91
NAME PETER A. SMITH
ADDRESS 121 HIGH STREET
EXETER, NH 03833

TAX MAP 71 L90
NAME LAUREN & PETER HUTTON
ADDRESS 129 HIGH STREET
EXETER, NH 03833

TAX MAP 71 L80
NAME GEOFFREY & HOLLY DENNETT
ADDRESS 4 LAUREL COURT
EXETER, NH 03833

TAX MAP 71 L85
NAME ANDREW & CATHERINE WHITE
ADDRESS 5 LAUREL COURT
EXETER, NH 03833

TAX MAP 71 L82
NAME PETER & MARCIA LENZ
ADDRESS 4 HOLLY COURT
EXETER, NH 03833

TAX MAP 71 L78
NAME TIMOTHY & MERL WOLFF
ADDRESS 6 FOX CHAPEL COURT
EXETER, NH 03833

TAX MAP 71 L77
NAME JEFFREY & CRYSTAL MORIN
ADDRESS 8 FOX CHAPEL COURT
EXETER, NH 03833

TAX MAP 71 L119
NAME PHILIPS EXETER ACADEMY
ADDRESS 20 MAIN STREET
EXETER, NH 03833

TAX MAP 71 L92
NAME MARTIN MYERS & SUJONG SHIN
ADDRESS 113 HIGH STREET
EXETER, NH 03833

TAX MAP 71 L54 & TM65 L13-4
NAME EXETER HOSPITAL, INC.
ADDRESS 5 ALUMNI DRIVE SUITE 205
EXETER, NH 03833

TAX MAP 71 L55
NAME DAVID BECKER & RACHAEL JONES
ADDRESS 116 HIGH STREET
EXETER, NH 03833

TAX MAP 71 L50
NAME MICHAEL & LAUREN GOELLNER
ADDRESS 118 HIGH STREET
EXETER, NH 03833

TAX MAP 71 L57
NAME WILLIAM & JILL COMPTON
ADDRESS 120 HIGH STREET
EXETER, NH 03833

TAX MAP 71 L62
NAME ANNE & STEVEN KNIGHT
ADDRESS 128 HIGH STREET
EXETER, NH 03833

TAX MAP PETER D. LANDRY, LLS
NAME 248 MILL BEND ROAD
ADDRESS NOTTINGHAM, NH 03290

TAX MAP JOSEPH W NOEL, CSS/CWS
NAME P.O. BOX 174
ADDRESS SOUTH BERWICK, ME.
03908

Please attach additional sheets if needed



CHECKLIST FOR LOT LINE ADJUSTMENT, MINOR SITE PLAN, or MINOR SUBDIVISION PLAN PREPARATION

The checklist on the following page has been prepared to assist you in the preparation of your subdivision plan. The checklist items listed correspond to the subdivision plan requirements set forth in Section 7 of the "Site Plan Review and Subdivision Regulations". Unless otherwise indicated, all section references within this checklist refer to these regulations. Each of the items listed on this checklist must be addressed prior to the technical review of subdivision plans by the Technical Review Committee (TRC). See Section 6.5 of the "Site Plan Review and Subdivision Regulations". This checklist **DOES NOT** include all of the detailed information required for subdivision and lot line adjustment plans and therefore should not be the sole basis for the preparation of these plans. For a complete listing of subdivision plan requirements, please refer to Section 7 of the "Site Plan Review and Subdivision Regulations". In addition to these required plan items, the Planning Board will review subdivision plans based upon the standards set forth in Sections 8 and 9 of the "Site Plan Review and Subdivision regulations". As the applicant, it is **YOUR RESPONSIBILITY** to familiarize yourself with these standards and to prepare your plans in conformance with them.

Please complete this checklist by marking each item listed in the column labeled "Applicant" with one of the following: "X" (information provided); "NA" (note applicable); "W" (waiver requested). For all checklist items marked "NA", a final determination regarding applicability will be made by the TRC. For all items marked "W", please refer to Section 11 of the "Site Plan Review and Subdivision Regulations" for the proper waiver request procedure. All waiver requests will be acted upon by the Planning Board at a public hearing. Please contact the Planning Department office, if you have any questions concerning the proper completion of this checklist.

All of the required information for the plans listed in the checklist must be provided on separate sheets, unless otherwise approved by the TRC.

NOTE: AN INCOMPLETE CHECKLIST WILL BE GROUNDS FOR REJECTION OF YOUR APPLICATION.



CHECK LIST FOR MINOR SITE PLAN REVIEW, MINOR SUBDIVISION AND LOT LINE ADJUSTMENT

APPLICANT	TRC	REQUIRED EXHIBITS, SEE REGULATION 6.6.2.4
☒	☐	a) The name and address of the property owner, authorized agent, the person or firm preparing the plan, and the person or firm preparing any other data to be included in the plan.
☒	☐	b) Title of the site plan, subdivision or lot line adjustment, including Planning Board Case Number.
☒	☐	c) Scale, north arrow, and date prepared.
☒	☐	d) Location of the land/site under consideration together with the names and address of all owners of record of abutting properties and their existing use.
☒	☐	e) Tax map reference for the land/site under consideration, together with those of abutting properties.
☒	☐	f) Zoning (including overlay) district references.
☒	☐	g) A vicinity sketch showing the location of the land/site in relation to the surrounding public street system and other pertinent location features within a distance of 1,000-feet.
☒	☐	h) For <u>minor site plan review only</u> , a description of the existing site and proposed changes thereto, including, but not limited to, buildings and accessory structures, parking and loading areas, signage, lighting, landscaping, and the amount of land to be disturbed.
☒	☐	i) If deemed necessary by the Town Planner, natural features including watercourses and water bodies, tree lines, and other significant vegetative cover, topographic features and any other environmental features which are significant to the site plan review or subdivision design process.
☒	☐	j) If deemed necessary by the Town Planner, existing contours at intervals not to exceed 2-feet with spot elevations provided when the grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
☒	☐	k) If deemed necessary by the Town Planner for proposed lots not served by municipal water and sewer utilities, a High Intensity Soil Survey (HISS) of the entire site, or portion thereof. Such soil surveys shall be prepared and stamped by a certified soil scientist in accordance with the standards established by the Rockingham County Conservation District. Any cover letters or explanatory data provided by the certified soil scientist shall also be submitted.
☒	☐	l) State and federal jurisdictional wetlands, including delineation of required setbacks.
☒	☐	m) A note as follows: "The landowner is responsible for complying with all applicable local, State, and Federal wetlands regulations, including any permitting and setback requirements required under these regulations."
☒	☐	n) Surveyed exterior property lines including angles and bearings, distances, monument locations, and size of the entire parcel. A professional land surveyor licensed in New Hampshire must attest to said plan.

N/A	☐	o) For <u>minor site plans only</u> , plans are not required to be prepared by a professional engineer or licensed surveyor unless deemed essential by the Town Planner or the TRC.
X	☐	p) For minor subdivisions and lot line adjustments only, the locations, dimensions, and areas of all existing and proposed lots.
X	☐	q) The lines of existing abutting streets and driveways locations within 100-feet of the site.
X	☐	r) The location, elevation, and layout of existing catch basins and other surface drainage features.
X	☐	s) The footprint location of all existing structures on the site and approximate location of structures within 100-feet of the site.
X	☐	t) The size and location of all existing public and private utilities. (known)
X	☐	u) The location of all existing and proposed easements and other encumbrances.
X	☐	v) All floodplain information, including contours of the 100-year flood elevation, based upon the Flood Insurance Rate Map for Exeter, as prepared by the Federal Emergency Management Agency, dated <u>May 17, 1982, 2005</u>
N/A	☐	w) The location of all test pits and the 4,000-square-foot septic reserve areas for each newly created lot, <u>if applicable.</u>
N/A	☐	x) The location and dimensions of all property proposed to be set aside for green space, parks, playgrounds, or other public or private reservations. The plan shall describe the purpose of the dedications or reservations, and the accompanying conditions thereof <u>(if any)</u> .
X NOTE 1	☐	y) A notation shall be included which explains the intended purpose of the subdivision. Include the identification and location of all parcels of land proposed to be dedicated to public use and the conditions of such dedications, and a copy of such private deed restriction as are intended to cover part of all of the tract.
X	☐	z) Newly created lots shall be consecutively numbered or lettered in alphabetical order. Street address numbers shall be assigned in accordance with <u>Section 9.17 Streets</u> of these regulations.
X	☐	aa) The following notations shall also be shown: • Explanation of proposed drainage easements, <u>if any</u> • Explanation of proposed utility easement, <u>if any</u> • Explanation of proposed site easement, <u>if any</u> • Explanation of proposed reservations, <u>if any</u> • Signature block for Board approval as follows:
X	☐	

Town of Exeter Planning Board

Chairman _____ Date _____

TOWN OF EXETER PLANNING DEPARTMENT PLANNING AND ZONING FEE SCHEDULE EFFECTIVE JANUARY 2018

(changes adopted by the Select Board – January 2018)

PUBLICATIONS

ZONING ORDINANCE	\$ 15.00
MASTER PLAN	\$ 35.00
CAPITAL IMPROVEMENTS PROGRAM	\$ 15.00
SUBDIVISION & SITE PLAN REVIEW REGS	\$ 15.00
PUBLIC WORKS SPECIFICATIONS (at DPW)	\$ 20.00
HDC PRESERVATION GUIDELINES	\$ 10.00
POSTAGE	\$ 5.00 (per publication)

BOARD OF ADJUSTMENT

VARIANCE APPLICATION	\$ 100.00
SPECIAL EXCEPTION APPLICATION	\$ 100.00
APPEAL FROM ADMINISTRATIVE DECISION	\$ 100.00
ABUTTER NOTICE	\$ 10.00 (per abutter)
LEGAL NOTICE FEE	\$ 50.00

PLANNING BOARD

LOT LINE ADJUSTMENT	\$ 60.00
SUBDIVISION	
• APPLICATION (includes Open Space Dev.)	\$ 125.00
• PER LOT OR OPEN SPACE UNIT FEE	\$ 50.00 per lot (up to 3 new lots) \$ 100.00 per lot (for 4 or more new lots)
NON-RESIDENTIAL SITE PLAN REVIEW	
• APPLICATION	Minor - \$100.00 Major - \$ 250.00
• PLAN REVIEW	\$ 60.00/1,000 s.f. of total building floor area (Example: 30,000 SF building = \$ 1,800. review fee) <u>With no building</u> , \$5./\$1,000. on the cost of site improvements
MULTI-FAMILY SITE PLAN REVIEW	Same as N/R Site Plan Review
LEGAL NOTICE	\$ 50.00
ABUTTER NOTICE	\$ 10.00 (per abutter) $\times 16 = 160.00$

\$ 270.00 PD Cash

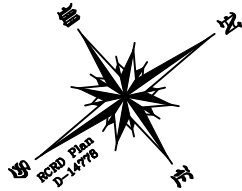
SITE INSPECTION SERVICE – Fee to be based upon a reasonable estimate of the cost of anticipated site inspections (typically 1-3% of the estimated construction costs for the project). Additional funds to be collected as needed; any unexpended fees to be returned to the Applicant upon completion of all site improvements.

HISTORIC DISTRICT COMMISSION

APPLICATION & PLAN REVIEW	No fees
ABUTTER NOTICE	\$ 10.00 (if applicable)

MISCELLANEOUS

• SIGN PERMITS	\$ 25.00 (per sign)
• HOME OCCUPATION USE PERMITS	\$ 25.00
• COPIES	\$.50 (per page)
• TRAIL MAPS	\$ 1.00/each
• WETLAND MARKERS	\$ 1.00/each



TAX MAP 71 LOT 77
N/F Morin
Jeffrey Morin
Crystal Morin
8 Fox Chapel Court
Exeter, NH 03833
RCRD Bk:5832 Pg:737
(RCRD Plan Ref. D-14778)

(31 High Street)
TAX MAP 71 LOT 119
N/F PEA
Philip Exeter Academy
20 Main Street
Exeter, NH 03833
(RCRD Plan D-43452)

TAX MAP 71 LOT 92
N/F Myers & Shin
Myers and Shin Revocable Trust
Martin P. Myers, Trustee
Sujung Shin, Trustee
113 High Street
Exeter, NH 03833
RCRD Bk:5981 Pg:2977

TAX MAP 71 LOT 54
N/F Exeter Hospital, Inc.
5 Alumni Drive, Suite 205
Exeter, NH 03833
(112 High Street)

TAX MAP 65 LOT 131-4
N/F Exeter Hospital, Inc.
5 Alumni Drive, Suite 205
Exeter, NH 03833

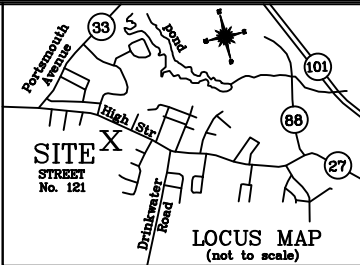
TAX MAP 71 LOT 55
N/F Becker & Jones
David J. Becker
Rachel M. Jones
116 High Street
Exeter, NH 03833

TAX MAP 71 LOT 56
N/F Goellner
Michael W. & Lauren M. Goellner
118 High Street
Exeter, NH 03833

TAX MAP 71 LOT 57
N/F Compton
Compton Family Revocable Trust
William E. Compton, Trustee
Jill A. Compton, Trustee
120 High Street
Exeter, NH 03833

ROCKY HILL
AVENUE

TAX MAP 71 LOT 62
N/F Knight
Anne M. Knight
Steven J. Knight
128 High Street
Exeter, NH 03833



LEGEND/SYMBOLS

- RCRD Rockingham County Registry of Deeds
- N/F Now or Formerly
- Sq Ft Square Feet
- Ac Acre
- Fnd Found
- Stone Wall
- Wood Fence
- September 2025
- Bound
- Gran Granite
- Reinforced Iron Bar w/Plastic L.D. Cap #893
- SS Steel Stake
- DH Drill Hole
- IP Iron Pipe
- EOW Edge of Wetland

ZONING SUMMARY:

(derived from Town of Exeter Zoning Ordinance, March 2026)
The subject parcel is zoned Single Family Residential (R-2) Municipal Water & Sewer, Single Family Minimum Lot Size=15,000 Sq Ft Two Family Minimum Lot Size=24,000 Sq Ft Minimum Lot Width & Depth=100ft Minimum Frontage=100ft Maximum Height=35ft, 3-Story Structure Maximum Yard Setbacks: Front=25ft, Side=15ft and Rear=25ft. Subject to the Historic District Overlay Subject to the Natural Resource Protection Overlay Wetlands Conservation District 40ft Limited Use & 75ft Parking and Structure Buffers

MAP 71 LOT 91
EXISTING AREA
250,975 Sq Ft±
5.762 Ac±

OWNER OF RECORD

TAX MAP 71 LOT 91
(as per Town of Exeter Assessing Records)
Peter A. Smith Revocable Living Trust
Peter A. Smith, Trustee
121 High Street
Exeter, NH 03833
RCRD Bk:4519 Pg:2464
(RCRD Plan Ref. D-14778)

Planning Board Case Number _____

SUBDIVISION SURVEY PLAT

for
Peter A. Smith
Revocable
Living Trust
Peter A. Smith, Trustee
in
Exeter, N.H.
Rockingham County
August 2026
Scale 1 inch = 40 feet

Landry Surveying, LLC
248 Mill Pond Road
Nottingham, NH 03290
(603) 679-1387

0 20 40 60 80 100 120 140 160 FEET

TAX MAP 71 LOT 78
N/F Wolff
Wolff Revocable Trust
Timothy J. Wolff, Trustee
Meryl S. Wolff, Trustee
6 Fox Chapel Court
Exeter, NH 03833
RCRD Bk:5883 Pg:879
(RCRD Plan Ref. D-14778)

TAX MAP 71 LOT 81
N/F Smith
Peter A. Smith Revocable Living Trust
Peter A. Smith, Trustee
121 High Street
Exeter, NH 03833
RCRD Bk:4519 Pg:2464
(RCRD Plan Ref. D-14778)

TAX MAP 71 LOT 82
N/F Lenz
P&M Lenz Family Revocable Trust
Peter Lenz, Trustee
Marcia Lenz, Trustee
4 Holly Court
Exeter, NH 03833
RCRD Bk:6155 Pg:213
(RCRD Plan Ref. D-14778)
(RCRD Plan Ref. C-18971)

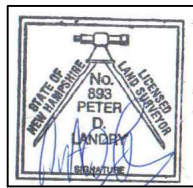
TAX MAP 71 LOT 85
N/F White
Andrew D. White
Catherine L. White
6 Laurel Court
Exeter, NH 03833
RCRD Bk:4529 Pg:954
(RCRD Plan Ref. 1006)

TAX MAP 71 LOT 86
N/F Dennett
Dennett Family Revocable Trust
Geoffrey J. Dennett, Trustee
Holly M. Dennett, Trustee
4 Laurel Court
Exeter, NH 03833
RCRD Bk:6469 Pg:2434
(RCRD Plan Ref. 1006)

TAX MAP 71 LOT 90
N/F Hutton
Lauren A. Hutton Revocable Trust 1/2%
Peter M. Hutton Revocable Trust 1/2%
129 High Street
Exeter, NH 03833
RCRD Bk:6510 Pg:2282
(RCRD Plan Ref. D-28577)

WETLAND SCIENTIST NOTE:

"The wetland boundary as depicted on this plan was delineated/flagged by Joseph W. Noel, NH Certified Soil Scientist #017 and NH Certified Wetland Scientist #086 on April 7, 2026 using sequentially numbered pink flagging. The flags were survey located by Landry Surveying, LLC. The delineation was conducted in accordance with the U.S. Army Corps of Engineers document Corps of Engineers Wetlands Delineation Manual, (1987) along with the required Regional Supplement to the Corps of Engineers Wetlands Delineation Manual: Northcentral and Northeast Region, (version 2, January 2012). Soil observations found poorly drained soils in the area wetlands."



HIGH STREET

MAP 71 LOT 91
PROPOSED AREA
216,896 Sq Ft±
4.960 Ac±

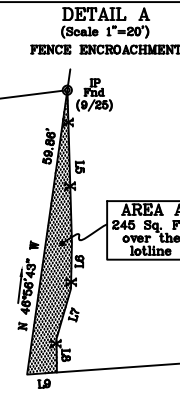
MAP 71 LOT A
PROPOSED AREA
34,079 Sq Ft±
0.782 Ac±

LAUREL COURT

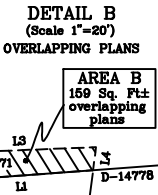
NOTES:

- Plan intent is to subdivide one (1) lot from the subject parcel (Map 71 Lot 91). The proposed lot to be serviced by municipal water & sewer. Other private buried gas, telephone and electric companies utilities may exist within the Town's High Street right-of-way, the buried locations are uncertain. Any improvements within the local Historic District Overlay is subject to the Historic District Commission review/comments.
- No portion of Tax Map 71 Lot 91 is located within a Special Flood Hazard Area (SFHA), as per the Federal Emergency Management Agencies (FEMA), National Flood Insurance Program (NFIP). See Flood Insurance Rate Map (FIRM), Community Panel No. 330130-0406-E, Effective Date: May 17, 2005.
- The landowner is responsible for complying with all applicable local, State, and Federal wetlands regulations, including any permitting and setback requirements required under these regulations.

NOTE: SEE
DETAIL A & B



LINE	BEARING	DISTANCE
11	S 30°48'50" W	30.38'
12	N 46°57'28" E	5.88'
13	N 32°41'42" E	30.10'
14	S 47°53'18" E	4.85'
15	S 58°39'48" E	31.75'
16	S 54°04'08" E	9.67'
17	S 38°47'47" E	10.82'
18	S 55°25'28" E	7.04'
19	S 30°48'50" W	6.20'



Town of Exeter Planning Board

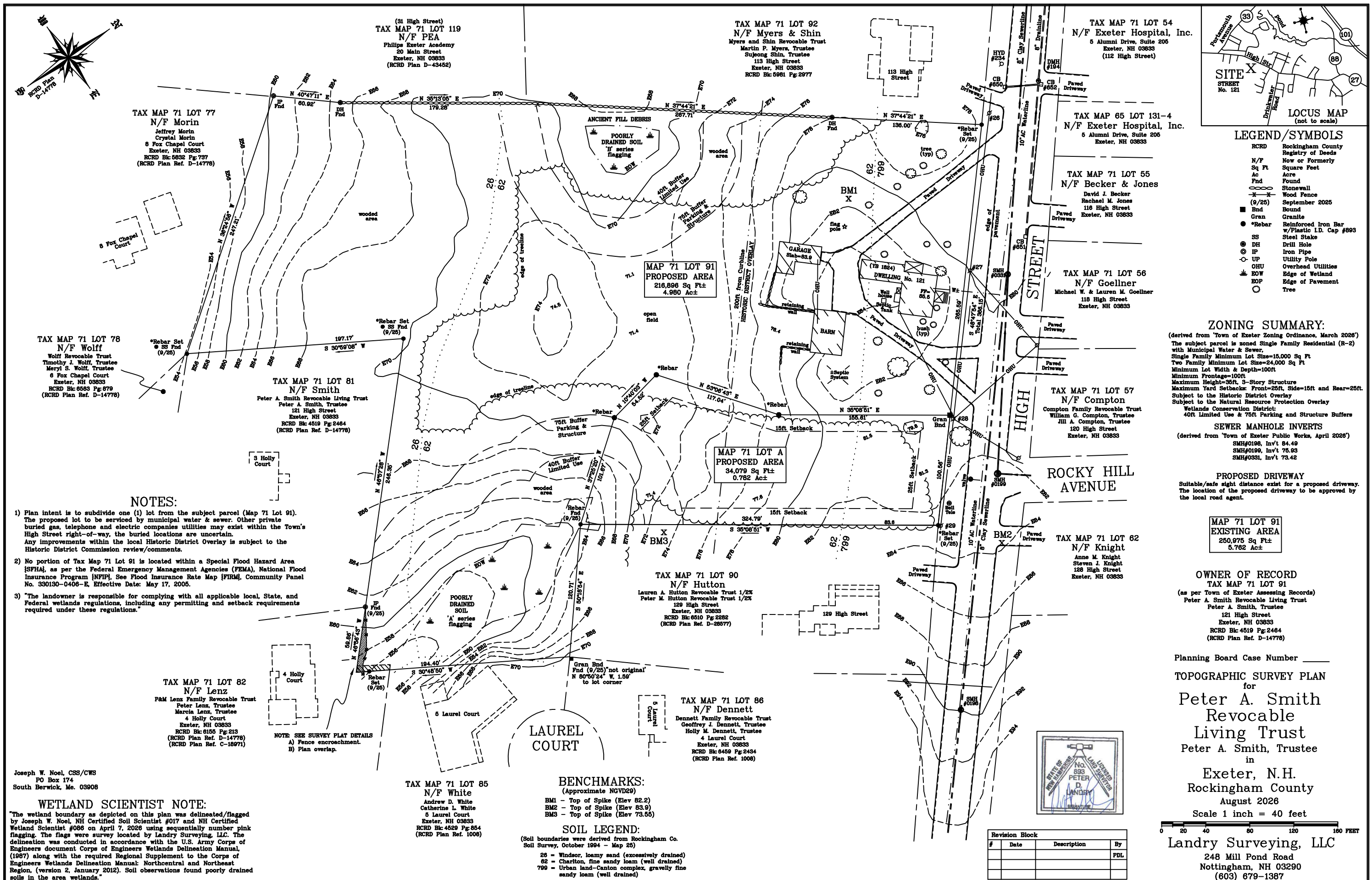
Chairman _____

Date _____

Joseph W. Noel, CSS/CWS
PO Box 174
South Berwick, Me. 03908

Revision Block			
#	Date	Description	By

Job No. 2214





TOWN OF EXETER

Planning and Building Department

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

Date: September 16, 2026
To: Planning Board
From: David Sharples, Town Planner
Re: Deirdre and Seth Robert CUP PB Case #26-17

Application of Marc E Jacobs, on behalf of Deirdre and Seth Robert for a Buffer Zone Encroachment and a Wetlands Conditional Use Permit for their property located at 26 Wadleigh Street, a 2.01-acre parcel located at 26 Wadleigh Street. Tax Map 54 Lot 5.2.
PB Case # 26-17.

Please see the letter dated July 8, 2026 for a brief history of the site and a description of the proposal. The applicant appeared before the Conservation Commission at their August 12, 2026 meeting and their decision memo, dated September 1, 2026, is enclosed for your review. The application was recommended for approval with the following two conditions:

1. Planting/seeding will be complete by October 190, 2026; and,
2. Buffer boundary discs shall be installed and confirmed by staff on or before October 10, 2026.

Planning Board Motions:

Wetlands Conditional Use Permit Motion: I move that the request of Marc E. Jacobs, on behalf of Deirdre and Seth Robert, PB Case #26-17, for a Wetlands Conditional Use Permit approval be APPROVED / APPROVED WITH THE FOLLOWING CONDITIONS / TABLED / DENIED.

Thank You

Enclosures

**TOWN OF EXETER
CONSERVATION COMMISSION MEMORANDUM**

Date: September 1, 2026
To: Exeter Planning Board
From: Kristen Murphy, Conservation and Sustainability Planner for
Dave Short, Chair, Exeter Conservation Commission
Subject: Wetland CUP Application

Project Information:

Project Location: 26 Wadleigh, Exeter, NH
Map/Lot: Tax Map Parcels # 54-5-2
CC Review Date: 8/12/26
PB CASE: #26-17

The applicant initially appeared before the Conservation Commission on October 14th, 2025 requesting an after-the-fact CUP. Following discussion, the Commission indicated they were not in support of the application and requested the buffer be 100% replanted.

The applicant revised their plans to include a perimeter fence, moving the swing set further out of the buffer and a restoration plan that requires seeding (red top & switchgrass), plantings (Dogwood-5, hazelnut-5, & highbush blueberry-5), and submission of a monitoring plan to the Commission that details planting conditions at 30-days, and then annually for 2 years by June 30th, with demonstration of a minimum of 70% survival.

Prior to discussing the project at their meeting, the Conservation Commission conducted a site walk to evaluate the site conditions. At the meeting, following the applicant's presentation, and consideration of the specific restoration plan & success criteria provided, the Commission voted 6-1-0 in support of the application as presented, with two additional recommended conditions.

The conditions they request are:

- Planting/seeding will be complete by October 10, 2026
- Buffer boundary discs are to be installed and confirmed by staff by October 10, 2026.

They also discussed concerns about setting a precedent with this application but felt there was enough uniqueness in the site to distinguish it from other sites, given it is a lot surrounded by steep slopes, drainage infrastructure and wetlands.



August 11, 2026

Mr. Langdon Plumer, Chair
Exeter Planning Board
10 Front Street
Exeter, N.H. 03833

Re: Deirdre & Seth Robert
Assessors's Map 54, Lot 5-2
26 Wadleigh Street
Subdivision Lot 2
Exeter Rose Farm

Subject: Wetland Buffer Zone Encroachment &
Conditional Use Permit Application
Wetlands Conservation Overlay District

Dear Mr. Plumer:

Attached please find our Conditional Use Permit application package for the above-referenced applicant, including a letter to the Exeter Conservation Commission dated July 8, 2026, which describes the project and provides information regarding the criteria for approval according to Article 9.1, the Wetland Conservation Overlay District, specifically §9.1.6.B.

Regarding a site walk, please be advised that the property owner/applicant and their various representatives will make themselves available for a site walk on any day that works for the Planning Board. If you can provide a 48-hour notice so we can plan accordingly, that would be most appreciated.

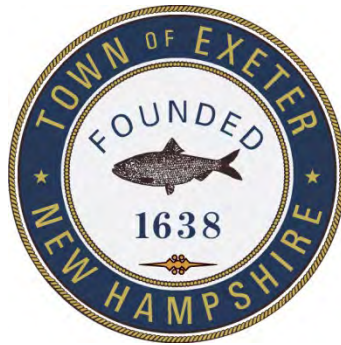
Thank you for your attention to this matter. We appreciate the opportunity to discuss this application with you at your September 24, 2026 meeting.

Sincerely,

A handwritten signature in cursive script that reads "Marc Jacobs".

Marc Jacobs
NH Certified Soil Scientist
NH Certified Wetland Scientist
Certified Professional in Erosion and Sediment Control

Town of Exeter



Planning Board Application for Conditional Use Permit: Wetlands Conservation Overlay District

July 2023



SUBMITTAL REQUIREMENTS:

- Required Fees:
- | | | |
|------------------------------------|-----------------------------|---|
| Planning Board Fee: \$50.00 | Abutter Fee: \$10.00 | Recording Fee (if applicable): \$25.00 |
|------------------------------------|-----------------------------|---|

APPLICANT	Name: Deirdre & Seth Robert
	Address: 26 Wadleigh Street (Exeter Rose Farm Subdivision Lot 2)
	Email Address: deirdrelrobert@gamil.com, sethjrobert@gmail.com
	Phone:
PROPOSAL	Address: 26 Wadleigh Street
	Tax Map # <u>54</u> Lot# <u>5-2</u> Zoning District: <u>R-2 SF Resident</u>
	Owner of Record: Deidre & Seth Robert
Person/Business performing work outlined in proposal	Name: Profile Homes c/o Matt Silva
	Address: 953 Islington St., Unit 21C, Portsmouth, NH 03801
	Phone: 603-433-2464
Professional that delineated wetlands	Name: Marc E Jacobs, NHCWS #090
	Address: 609 Portsmouth Ave., P.O. Box 417, Greenland, NH 03840
	Phone: 603-534-SOIL (7645)

Town of Exeter
Planning Board Application
Conditional Use Permit: Wetland Conservation Overlay District

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)

Please refer to the attached letter from Marc E. Jacobs, NHCWS dated July 8, 2026

Wetland Conservation Overlay District Impact (in square footage):

Temporary Impact	Wetland:	(SQ FT.)	Buffer:	(SQ FT.)
	☐ Prime Wetlands	_____	☐ Prime Wetlands	_____
	☐ Exemplary Wetlands	_____	☐ Exemplary Wetlands	_____
	☐ Vernal Pools (>200SF)	_____	☐ Vernal Pools (>200SF)	_____
	☐ VPD	_____	☐ VPD	_____
	☐ PD	_____	☒ PD	<u>839 SF</u>
	☐ Inland Stream	_____	☐ Inland Stream	_____
Permanent Impact	Wetland:		Buffer:	
	☐ Prime Wetlands	_____	☐ Prime Wetlands	_____
	☐ Exemplary Wetlands	_____	☐ Exemplary Wetlands	_____
	☐ Vernal Pools (>200SF)	_____	☐ Vernal Pools (>200SF)	_____
	☐ VPD	_____	☐ VPD	_____
	☐ PD	_____	☒ PD	<u>545 SF</u>
	☐ Inland Stream	_____	☐ Inland Stream	_____

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

NA NA

Describe how the proposal meets conditions in **Article 9.1.6.B** of the Zoning Ordinance (attached for reference).
Written justification for each criterion must be provided to be deemed administratively complete.

Please refer to the letter prepared by Marc Jacobs, NHCWS dated July 8, 2026

9.1.6.B. Prior to issuance of a conditional use permit, the Planning Board shall conclude and make a part of the record, compliance with the following criteria:

1. That the proposed use is permitted in the underlying zoning district;
2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible;
3. A wetland scientist has provided an impact evaluation that includes the “functions and values” of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.
4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer;
5. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons;
6. The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland
7. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, the applicant has included a restoration proposal revegetating any disturbed area within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.
8. That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A: 17, the New Hampshire Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.;

July 29, 2026

Deirdre L. Robert and Seth J. Robert of 26 Wadleigh Street, Exeter, NH (Assessors Map 54, Lot 5-2) hereby authorize Marc E. Jacobs, and Matt Silva to represent us before any and all Town of Exeter Representatives, Boards and Commissions for permitting our project.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'D Robert', written over a horizontal line.

Deirdre L. Robert

A handwritten signature in blue ink, appearing to read 'S J Robert', written over a horizontal line.

Seth J. Robert

ABUTTERS LIST for
Seth Robert; Deirdre Robert
Rose Farm Subdivision Lot 2
Assessors Map 54, Lot 5-2
26 Wadleigh Street
Exeter, NH

EXETER

Map / Lot	Name
54 / 5.1	Exeter Rose Farm 953 Islington St. #23D Portsmouth, NH 03801
54 / 5.3	Guay, Nicholas Tustin, Kelsey 20 Wadleigh St. Exeter, NH 03833
54 / 5.4	Exeter Rose Farm 953 Islington St. #23D Portsmouth, NH 03801
54 / 5.5	Exeter Rose Farm 953 Islington St. #23D Portsmouth, NH 03801
54 / 5.6	Exeter Rose Farm 953 Islington St. #23D Portsmouth, NH 03801
54 / 5.7	Exeter Rose Farm 953 Islington St. #23D Portsmouth, NH 03801
54 / 5.8	Exeter Rose Farm 953 Islington St. #23D Portsmouth, NH 03801
54 / 5.9	Exeter Rose Farm 953 Islington St. #23D Portsmouth, NH 03801



July 8, 2026

Mr. David Short, Chair
Exeter Conservation Commission
10 Front Street
Exeter, N.H. 03833

Re: Deirdre & Seth Robert
Assessors's Map 54, Lot 5-2
26 Wadleigh Street
Subdivision Lot 2
Exeter Rose Farm

Subject: Buffer Zone Encroachment &
Conditional Use Permit Application

Dear Mr. Short:

The letter is intended to accompany a conditional use permit (CUP) application for the above-referenced property. As you may recall, due to a series of misunderstandings between the property owner, building contractor and engineer of record for this subdivision, this lot became the subject of a buffer encroachment involving the removal of buffer vegetation, conversion to lawn and placement of a swing set (on a bark mulch pad) within the wetland buffer zone. Refer to the attached site plan dated/last revised July 29, 2026 as well as image 1-4 appended to the back of this letter.

Lot 2 is 87,581 square feet (SF), or ± 2.01 acres, in size. The encroachment totals 1,384 SF or 0.03 acres. The encroachment therefore represents 1.5% of the total lot area.

The landowner, through their building contractor, submitted a CUP application last fall and the Commission denied a request to retain the encroachment. This application thus seeks to rectify elements of the encroachment (so this could also be considered an after-the-fact application) and also seeks to install a fence, which was not part of the previous application. We have met with town staff at the property on several occasions regarding this situation since last fall. We want to express our appreciation for their useful and thoughtful guidance.

This CUP application proposes the following:

- Restore three areas of the buffer totaling 839 SF by removing lawn and installing buffer plantings as further specified below. This represents ± 60 percent of the total encroachment.

- Relocate the swingset and bark mulch pad out of the buffer zone.
- Retain 545 SF of lawn within the buffer. This represents ± 40 percent of the total encroachment.
- Install a fence as depicted on the attached drawing. (Refer to Image 1 for a sample of the fence proposed for installation.)

Where proposed for removal, lawn will be replaced with native shrubs according to the specifications in Table 1 below.

TABLE 1

STRATUM	SPECIES / MIX Common (<i>scientific</i>) name	SIZE / RATE	QUANTITY / LOCATION
Herbaceous	Red top (<i>Agrostis alba</i>) and switchgrass (<i>Panicum virgatum</i>)	1:1 mix applied at 20+ pounds per acre	Apply seed to exposed upland soils. Total of 0.5 pounds (minimum).
Shrub	Gray (or red-panicked) dogwood (<i>Cornus racemosa</i>)	4'-5' minimum height	Planted randomly 6-8 feet on center. Total of five (5) specimens.
	Beaked hazelnut (<i>Corylus cornuta</i>)	4'-5' minimum height	Planted randomly 6-8 feet on center. Total of five (5) specimens.
	High bush blueberry (<i>Vaccinium corymbosum</i>)	4'-5' minimum height	Planted randomly 6-8 feet on center. Total of five (5) specimens.
			Total of 15 shrubs.

After installation of the shrubs, bark mulch or wood chips will be placed in a circle, approximately 1-foot in diameter, around the base of each shrub. After shrub installation is complete, bare soils will be seeded and mulched with straw (not hay).

It is the intent of this restoration program that the native grasses to be planted in in the restored area, including between the shrubs, will not be mowed - in perpetuity. It is also the intent of this program that the area be left to mature and grow wild, free from maintenance.

Erosion is not expected, but the restoration areas will be monitored and customary perimeter siltation controls such as compost filter sock ('silt sock') will be installed if erosion is observed. (Cair logs and straw wattles are not an acceptable substitute for compost filter sock.)

Long-term Monitoring and Status Reports

Restoration will be performed by the building contractor of record under the supervision of a certified wetland scientist. Within 30 days of completion of the restoration and plant installation work, an initial status report, including photographs (taken during all phases of restoration construction), will be prepared and submitted to the ECC. Status reports will provide information regarding the following parameters (minimally):

- Date of the site inspection and any observations,
- an inventory and the general status (health) of herbaceous and shrub plantings,
- observations regarding the uniformity of vegetation,

- any plant substitutions (initial report only),
- the stability of site soils,
- the status of erosion and siltation controls,
- observations of erosion and/or siltation (entering, exiting or within restored areas and adjacent uplands),
- observations of any commonly accepted invasive vegetation species (with an emphasis on new infestations [area or species] or expansions of existing infestations),
- recommended remedial measures or corrective actions, if any and,
- the approximate date of the next inspection, if required by the ECC CUP approval.

As necessary to confirm the successful re-establishment of restored areas, additional inspections and status reports will be prepared and submitted to the Exeter Conservation Commission (ECC) by June 30th for two (2) additional growing seasons following completion of restoration activities. In addition to those items listed above, subsequent reports will document the following ecological performance standard: a minimum of 75 percent survival/establishment of the herb and shrub cover within restored uplands.

The percentage of herbaceous plant coverage or estimates of survival will be based upon a visual estimation of aerial coverage. The estimate of herbaceous aerial coverage and the woody stem count may also include suitable herbaceous and woody specimens / species that have colonized the restored areas from surrounding natural uplands and which were not represented in the original plant list specified in Table 1 above.

Where inspections and status reports demonstrate that the ecological performance standard stated above has not been achieved at the end of two (2) full growing seasons, or as soon as it may be apparent that site conditions may not result in a successful restoration of the buffer, the status report will identify any recommended corrective action(s), such as replanting or invasive species management, that may be necessary to bring the restored area into compliance with this narrative. The ECC will be consulted prior to initiating any remedial actions and to ascertain whether any additional long-term monitoring will be necessary after any remedial measures are implemented.

Upon demonstration that the area is a success and that all exposed soils are suitably vegetated and stabilized against erosion, any siltation barriers will be dispersed, removed and reused or properly disposed of as appropriate and as determined by the wetland scientist in coordination with the owner or their site work contractor as appropriate.

While it is anticipated that the wetland scientist of record or another suitably qualified individual will be conducting future inspections and preparing status reports, the property owner will ultimately be the party responsible for providing status reports as well as implementing any remedial measures or corrective actions which may be needed to bring the restored wetland areas into compliance with this program and ECC approval.

CUP Criteria for Approval

Regarding the criteria for approval of a CUP permit application according to §9.1.6.B, I offer the thoughts below for your consideration. A snapshot of the applicable zoning section is followed by my response.

B. Conditions: Prior to issuance of a conditional use permit, the Planning Board shall conclude and make a part of the record, compliance with the following criteria:

1. That the proposed use is permitted in the underlying zoning district;

The proposed use is permitted in the underlying zoning district.

2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible;

There is no alternative that does not adversely impact the owners reasonable use of the property and yard. The area that has been converted to yard is the flat part of the lot, which is surrounded on three sides by steep slopes, so this area lends itself to typical yard activities.

3. A wetland scientist has provided an impact evaluation that includes the "functions and values" of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.

Reference is made to the wetland functional assessment issued by this office for the Exeter Rose Farm project on April 3, 2018 and updated in September 2021. Wetland functions and values (also known as ecosystem services) provided by the wetland adjacent to this buffer based upon observations made during delineation of site wetlands include:

- Streamflow maintenance (associated with groundwater discharge)
- Floodflow alteration
- Sediment retention
- Nutrient removal
- Wetland wildlife habitat
- Uniqueness

Regarding **stream flow maintenance**, the restored buffer will increase infiltration to groundwater and decrease thermal impacts which will aid in protecting the stream located within wetlands at the toe-of-slope.

Regarding **floodflow alteration**, a total loss of buffer would have a negligible effect on the ability of the wetland and stream at this location to desynchronize flood events.

Regarding **sediment retention**, studies have demonstrated that buffers of 25-feet are minimally required to filter sediments. However, this distance increases with increases in slope steepness. The distance between the wetland-upland boundary and closest edge of the lawn that is proposed to be removed is ± 28 feet. The slope between the current edge of lawn and the wetland here is ± 35 percent. The area proposed for restoration will add ± 10 -feet to the buffer, for a total of ± 38 -feet, which is adequate to filter sediments on this slope. It should be noted that, except for the period of time when the restoration is taking place, until the time the area is deemed to be permanently stabilized, a period of roughly 2-3 weeks (which could be shorter if mulch is used in lieu of establishing herbaceous vegetation cover), the area provides minimal opportunity for sediment loss.

Regarding **nutrient retention**, buffer science indicates that 75 percent nutrient removal can be achieved with buffers as narrow as 40-feet. The effectiveness of buffers to remove nutrients is influenced primarily by the composition of vegetation within the buffer and the steepness of the buffer. We would therefore expect that after adding ± 10 feet to the buffer after restoration, the effectiveness of the resulting 38-foot buffer to provide this function or augment the nutrient removal function provided by the adjacent wetland to increase, especially with time, although it may not function optimally or comparably to a 50-foot or wider buffer. The use of low nitrogen fertilizer on the remaining lawn could help to protect the wetland and stream. (A total prohibition on the use of fertilizer to maintain lawns has ramifications for sediment removal functions. Poor quality turf and thin lawns produce more sediment and increased runoff.)

Regarding **wetland wildlife habitat**, the unique landscape position of this lot and how it is ‘perched’ topographically above the adjacent wetland aids in decreasing noise and proximity impacts on wetland wildlife habitat functions. The wetland and slope provide natural corridor protection for migration of those species utilizing the stream. (The 5’ x 24’ box culvert at Wadleigh Street over the nearby Norris Brook was designed to encourage wildlife migration as well.) The proposed fence will further minimize proximity impacts, although this particular fence will not be able to provide any additional noise reduction. Buffers as narrow as 25-feet have significant benefits for noise reduction. Buffers of hundreds of feet are necessary, and the widths vary depending upon the species involved, to protect wildlife and core habitat functions. At 50-feet, the current required buffer is already inadequate to protect many wildlife species. The denial of the applicant’s request to retain lawn resulting in the permanent loss of 12-feet of buffer – after restoration is complete – is unlikely to have a meaningful impact of wetland wildlife in this habitat corridor. See also number 4 below.

Regarding **uniqueness**, this function is primarily attributable to the Norris Brook and the former man-made pond and weir (which has since been removed to provide compensatory wetland mitigation) which were also part of the study area. Lot 2 backs up on a stream that is tributary to Norris Brook, therefore impacts to buffer in this area will have no impacts for this function.

4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer;

The conversion of lawn, especially such a small area of lawn, may alter, but will not eliminate or adversely effect the infiltration of precipitation and storm water back into the ground so impacts to stream flow maintenance functions should be de minimus. The fence will not be fixed to the ground between posts, allowing smaller wildlife fauna to easily pass. The proposed fence will not pose any risk to the other wetland functions discussed above.

5. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons;

The lawn, swing set (which will be relocated out of the buffer) and fence pose no hazards to public health safety or welfare. The proposed uses will not result in the contamination of groundwater. Denial of a fence could result in a hazard to the owners, who have two small children.

Beyond the Roberts' two young children, the yard is a natural gathering space for visiting friends and neighborhood children. Given the lot's unique configuration — with steep slopes and a drainage easement and other flood prone areas on three sides — the fence provides an important safety boundary for all children using this yard, not just the property owners' children.

As you will note from the attached plan, the lot is surrounded on 3 sides by steep slopes and a drainage easement which supports a gravel wetland, which is designed to treat stormwater and therefore floods temporarily during larger storm events. The fence will keep young children safer by keeping them in the yard and adjacent to the dwelling. Note that the fence starts and stops at the dwelling.

Additionally, the fence can act to perform some of the same functions as a vegetated buffer such as by discouraging further encroachment and by discouraging the stockpiling of yard waste or other materials in the buffer.

6. The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland.

Unfortunately, due to the unique configuration of this lot, as well as the steep slopes and drainage easement, there are no meaningful opportunities to provide compensatory buffers elsewhere on site.

7. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, the applicant has included a restoration proposal revegetating any disturbed area within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.

The proposed fence is not temporary. Presumably, the lawn was not intended to be temporary but 839 SF could be considered temporary by virtue of the restoration described above. Approximately 60 percent of the lawn will be removed from the buffer and restored with shrub plantings.

8. That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A: 17, the New Hampshire Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.;

The project results in no direct impacts to wetlands. The State of New Hampshire does not regulate buffers per se (unless activities adjacent to wetlands – such as grading – which results in erosion – cause impacts such as sedimentation to wetlands or waterways) therefore no wetland permit is needed from the State of NH.

Conclusions

The 545 SF of lawn within the buffer that is proposed to be retained is the portion of the encroachment farthest from the wetland boundary and at the highest point on the slope, with the restored planting area serving as an additional ecological buffer between it and the wetland. It also represents some of the only level yard space on a lot otherwise constrained on three sides by steep slopes and a drainage easement. Requiring its full restoration would leave very limited functional outdoor area for ordinary residential use, a result disproportionate to the ecological benefit that removal of this small, elevated area of lawn would provide.

Finally, the Commission indicated a concern during the public meeting last fall about the previous application and any subsequent approval establishing a precedent, especially in a large new project with other properties that contain or back up against protected resources. (This application is materially different from the previous in that it is also proposing the fence.)

I submit to you that this is a unique situation that will not set a precedent. While there are other lots in the subdivision that possess wetland and/or wetland buffer, this lot has a combination of physical attributes that is lacking on any other lot in this subdivision. The lot possesses a unique configuration of wetlands, topography and a drainage easement (which supports a storm water control measure) on three sides. There is no other lot in the subdivision which has this circumstance.

I would like to thank you and the Commission for your thoughtful consideration in this matter. I look forward to discussing this application with you at your August 11, 2026 meeting.

Sincerely,



Marc Jacobs
NH Certified Soil Scientist
NH Certified Wetland Scientist
Certified Professional in Erosion and Sediment Control

Deirdre & Seth Robert
26 Wadleigh Street
Exeter, NH
July 8, 2026



Image 1 - Proposed fence segment (typical).

Deirdre & Seth Robert
26 Wadleigh Street
Exeter, NH
July 8, 2026



Image 2 – Lot 2 looking North. Note the grade stakes, which identify the wetland buffer.

Deirdre & Seth Robert
26 Wadleigh Street
Exeter, NH
July 8, 2026



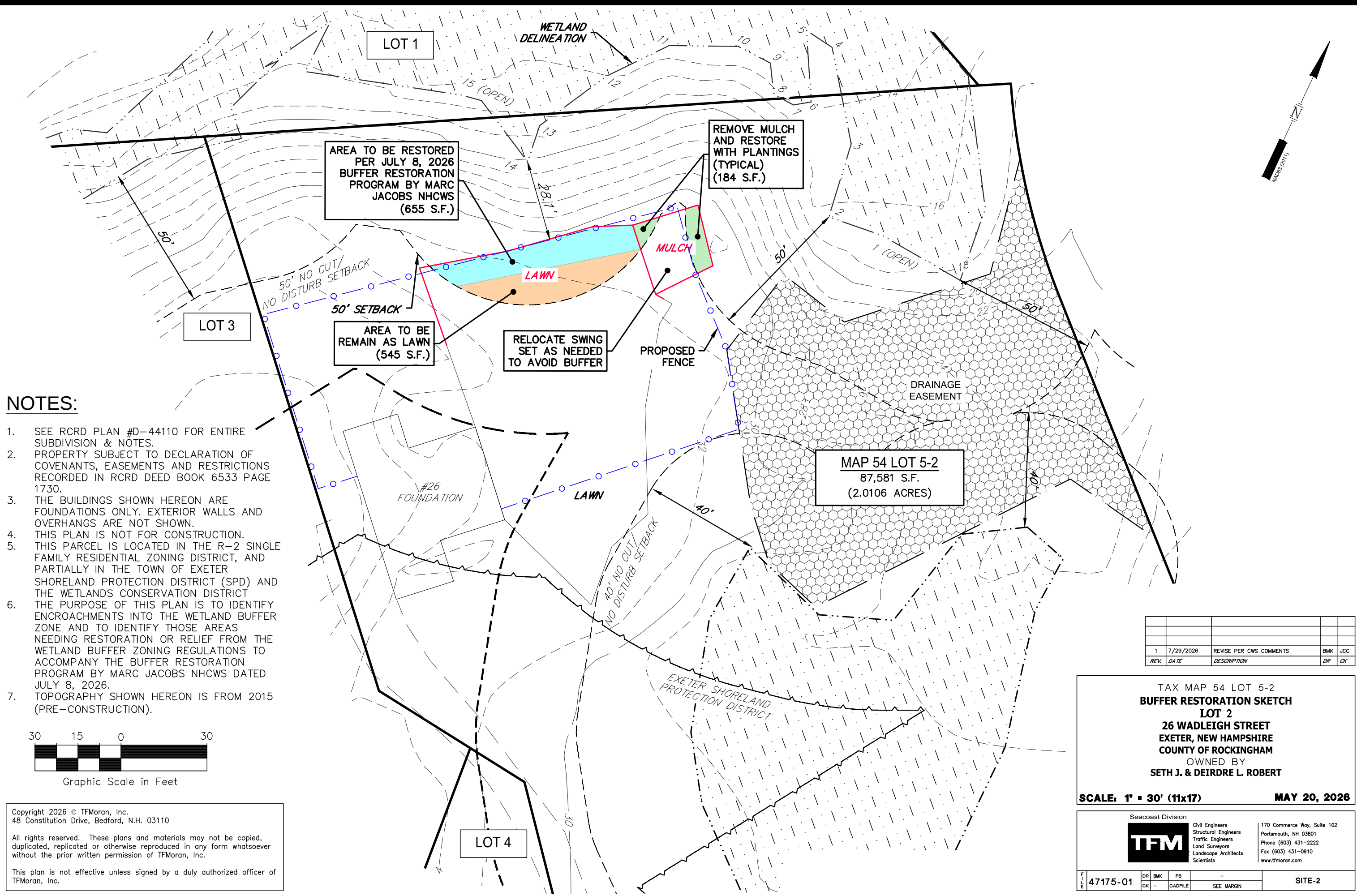
Image 3 – Lot 2 looking South. Note the mulch in the foreground.

Deirdre & Seth Robert
26 Wadleigh Street
Exeter, NH
July 8, 2026



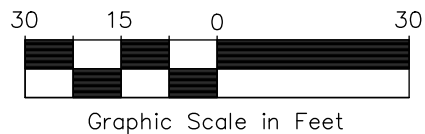
Image 4 – Looking north from the dwelling. Note the area of buffer altered by the swingset in red shade.

Jul 29, 2026 - 12:29pm
F:\MSC Projects\47175 - Oak Street Extension - Exeter\47175-01 Baker Prop - Site Plan\Carlson Survey\Drawings\47175-01 Lot 2.dwg



NOTES:

1. SEE RCRD PLAN #D-44110 FOR ENTIRE SUBDIVISION & NOTES.
2. PROPERTY SUBJECT TO DECLARATION OF COVENANTS, EASEMENTS AND RESTRICTIONS RECORDED IN RCRD DEED BOOK 6533 PAGE 1730.
3. THE BUILDINGS SHOWN HEREON ARE FOUNDATIONS ONLY. EXTERIOR WALLS AND OVERHANGS ARE NOT SHOWN.
4. THIS PLAN IS NOT FOR CONSTRUCTION.
5. THIS PARCEL IS LOCATED IN THE R-2 SINGLE FAMILY RESIDENTIAL ZONING DISTRICT, AND PARTIALLY IN THE TOWN OF EXETER SHORELAND PROTECTION DISTRICT (SPD) AND THE WETLANDS CONSERVATION DISTRICT.
6. THE PURPOSE OF THIS PLAN IS TO IDENTIFY ENCROACHMENTS INTO THE WETLAND BUFFER ZONE AND TO IDENTIFY THOSE AREAS NEEDING RESTORATION OR RELIEF FROM THE WETLAND BUFFER ZONING REGULATIONS TO ACCOMPANY THE BUFFER RESTORATION PROGRAM BY MARC JACOBS NHCWS DATED JULY 8, 2026.
7. TOPOGRAPHY SHOWN HEREON IS FROM 2015 (PRE-CONSTRUCTION).



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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

REV.	DATE	DESCRIPTION	DR	CK
1	7/29/2026	REVISE PER CWS COMMENTS	BMK	JCC

TAX MAP 54 LOT 5-2
BUFFER RESTORATION SKETCH
LOT 2
26 WADLEIGH STREET
EXETER, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
OWNED BY
SETH J. & DEIRDRE L. ROBERT

SCALE: 1" = 30' (11x17)

MAY 20, 2026

Seacoast Division



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

47175-01	DR	BMK	FB	-	SEE MARGIN	SITE-2
	CK	-	CADFILE			